



Rapid City Planning Commission

Final Planned Development Overlay Project Report

August 10, 2017

Item #12
Applicant Request(s)
Case # 17PD040 – Final Planned Development Overlay to construct a hotel in the General Commercial District
Companion Case(s) N/A

Development Review Team Recommendation(s)
The Development Review Team recommends that the Final Planned Development be approved with the stipulations as noted below.

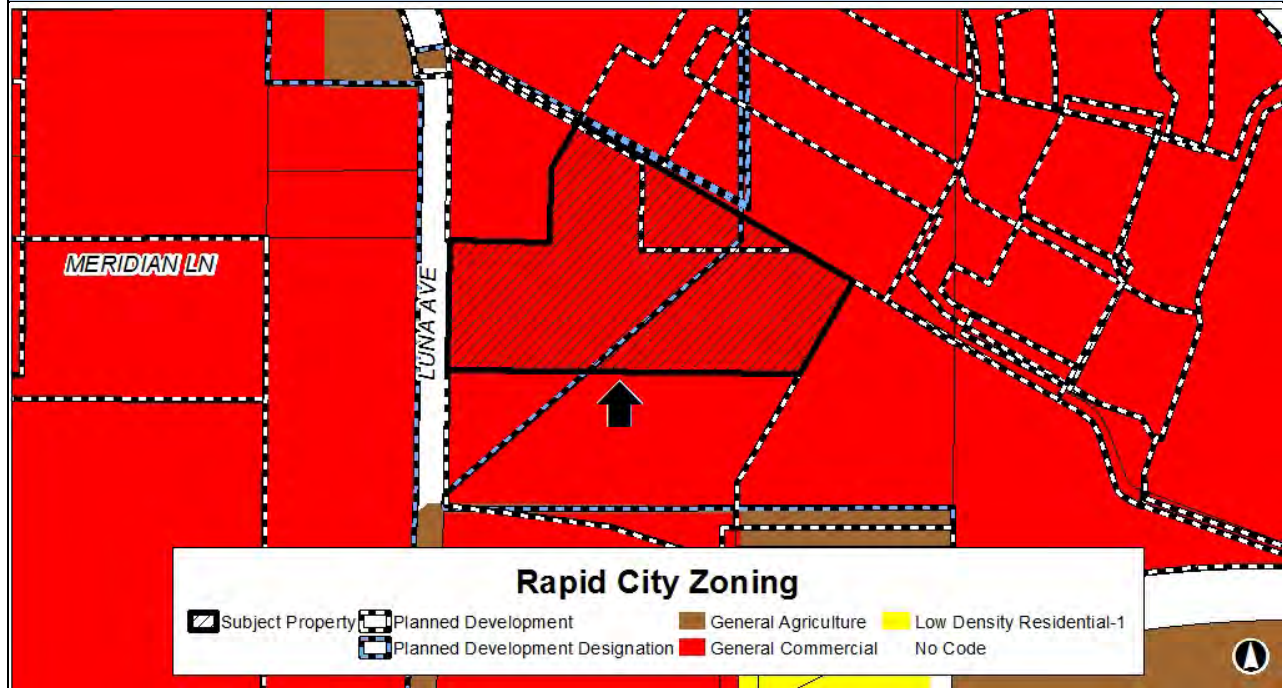
Project Summary Brief
The applicant has submitted a Final Planned Development Overlay to construct a hotel in the General Commercial District. In particular, the applicant is proposing to construct a four story 121 room hotel. In addition, the applicant is requesting an Exception to allow a height of 52.5 feet in lieu of the maximum allowed height of 45 feet for a section of the parapet. The property is currently void of any structural development.

Applicant Information	Development Review Team Contacts
Applicant: Peco Kid LLC.	Planner: Fletcher Lacock
Property Owner: Peco Kid LLC	Engineer: Dan Kools
Architect: EAPC	Fire District: Tim Behlings
Engineer: FMG Inc	School District: N/A
Surveyor: N/A	Water/Sewer: Dan Kools
Other: Heyer Engineering	DOT: Stacy Bartlett

Subject Property Information	
Address/Location	Approximately 775 feet southeast of the intersection of Eglin Street and Luna Avenue
Neighborhood	North Rapid
Subdivision	Rushmore Center Subdivision
Land Area	6.44 acres (280,527 square feet)
Existing Buildings	Void of structural development
Topography	60 foot drop in elevation from west to east
Access	Luna Avenue
Water Provider	Rapid City
Sewer Provider	Rapid City
Electric/Gas Provider	Black Hills Power / MDU
Floodplain	N/A
Other	N/A

Subject Property and Adjacent Property Designations			
	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	GC - PD	MUC	Void of structural development
Adjacent North	GC - PD	MUC	Restaurant
Adjacent South	GC - PD	MUC	Hotel under construction
Adjacent East	GC - PD	MUC	Rushmore Crossing
Adjacent West	GC - PDD	MUC	Void of structural development

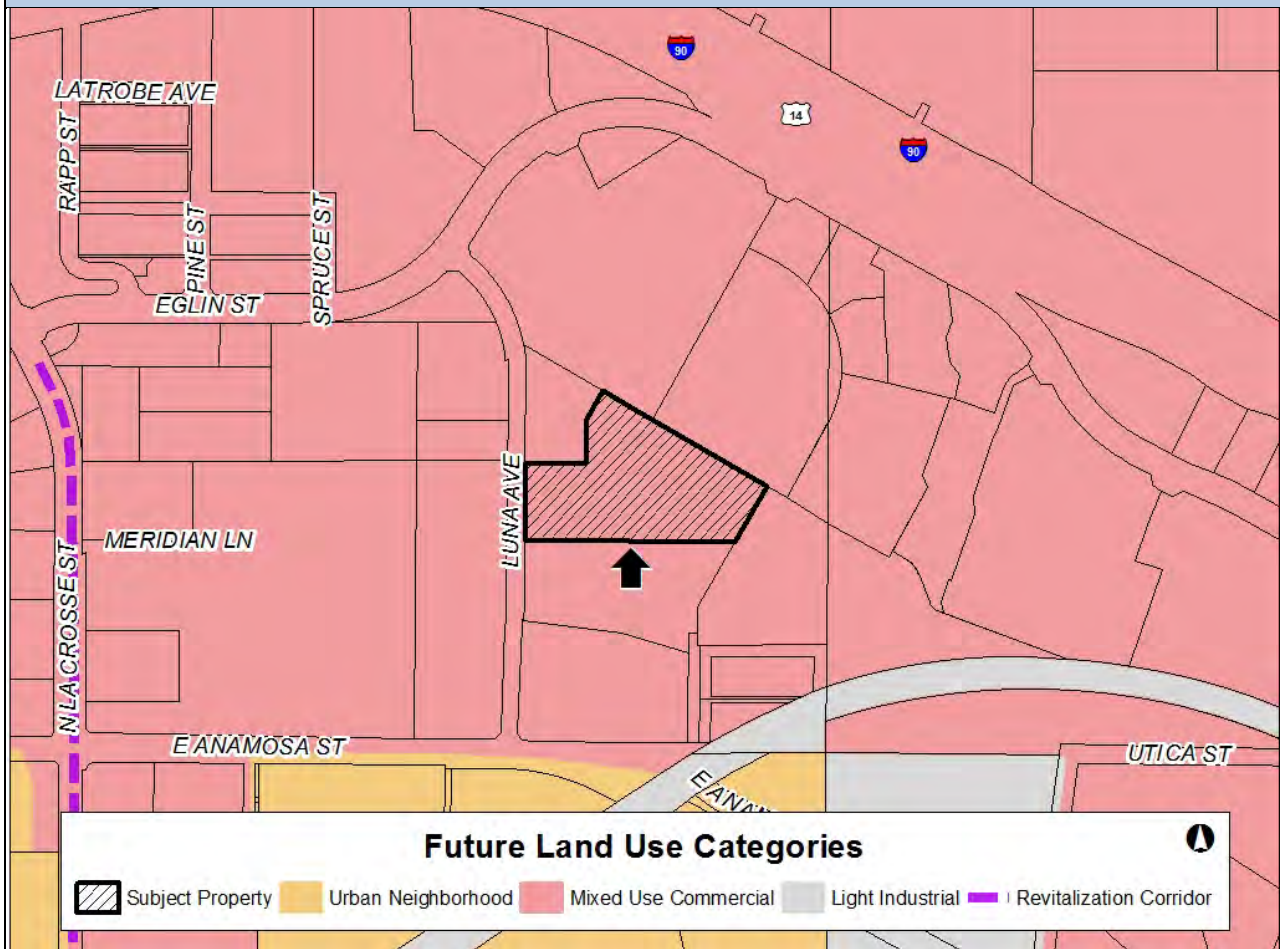
Zoning Map



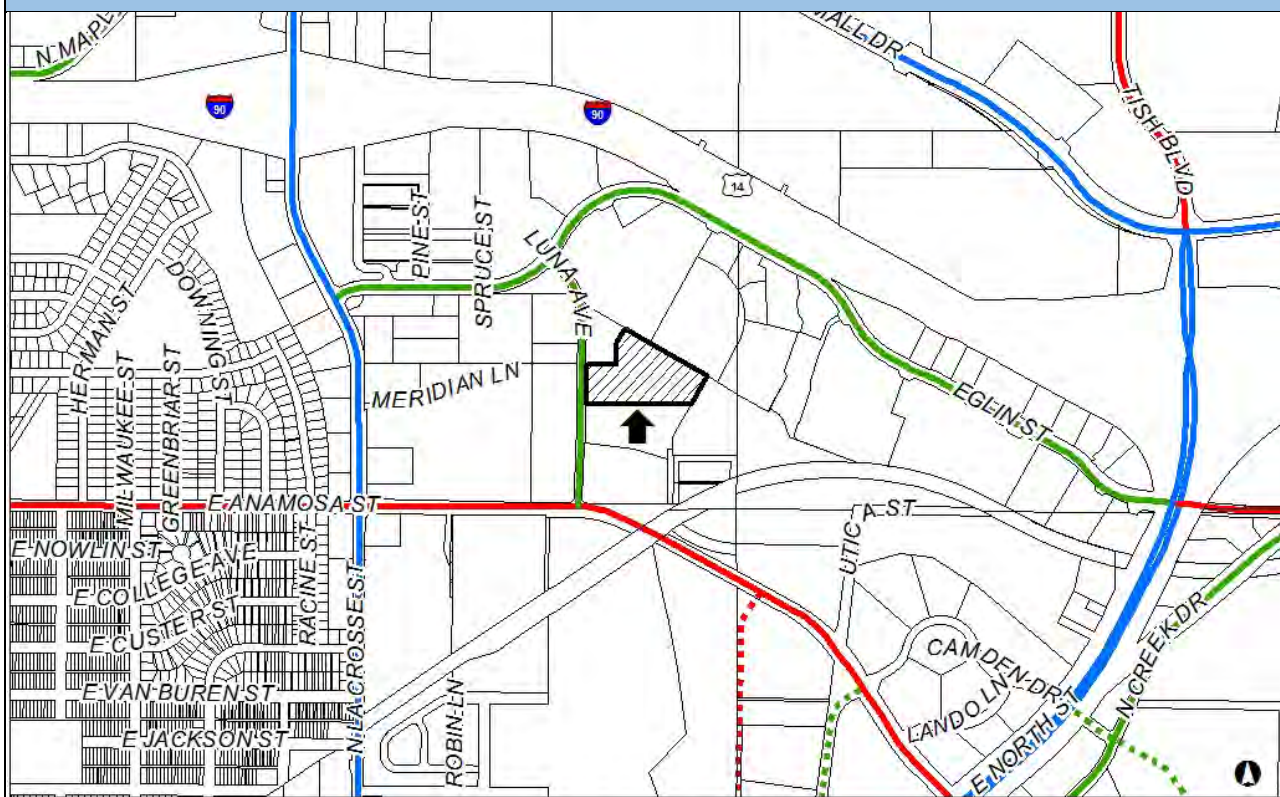
Existing Land Uses



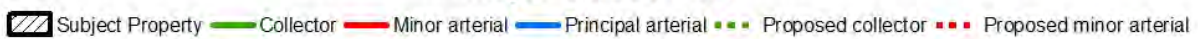
Comprehensive Plan Future Land Use



Parks or Transportation Plan



Major Street Plan










Relevant Case History			
Case/File#	Date	Request	Action
N/A			
Relevant Zoning District Regulations			
General Commercial District		Required	Proposed
Lot Area		N/A	280,527 square feet
Lot Frontage / Width		N/A	Approximately 275 feet
Maximum Building Heights		4 stories or 45 feet	Requesting an Exception to allow 4 stories and 52.5 feet
Maximum Density		75%	5%
Minimum Building Setback:			
• Front		25 feet	196 feet
• Rear		Zero	Approximately 306 feet
• Side		Zero	280 feet to the north and 34.55 feet to the south
• Street Side		25 feet	N/A
Minimum Landscape Requirements:			
• # of landscape points		186,828	187,287
• # of landscape islands		5	5
Minimum Parking Requirements:			
• # of parking spaces		121	145
• # of ADA spaces		5 ADA with one being van accessible	5 ADA with one being van accessible
Signage		Per Sign Code	Two wall signs / one ground sign proposed
Fencing		None Required	4 foot high chain-link fence along south property line

Planning Commission Criteria and Findings for Approval or Denial	
Pursuant to Section 17.50.050(F)5 of the Rapid City Municipal Code the Planning Commission shall consider the following criteria for a Final Planned Development Overlay:	
Criteria	Findings
1. There are certain conditions pertaining to the particular piece of property in question because of its size, shape, or topography:	The property is approximately 6.44 acres in size. The applicant is proposing to construct a hotel with a total of 121 rooms. There is a drainage easement located on the east side of the property. In addition, the east side of the property slopes steeply to the east approximately 60 feet.
2. The application of these regulations to this particular piece of property would create a practical difficulty or undue hardship:	The property is zoned General Commercial District and a hotel is identified as a permitted use. There is a Planned Development Designation located on the property requiring the review and approval of a Final Planned Development Overlay.
3. Exceptions to the underlying zoning district, if granted, would not cause undue hardship to the public good or impair the purposes and intent of these regulations:	The applicant is requesting an Exception to allow a height of four stories and 52.5 feet in lieu of the maximum allowed height of four stories and 45 feet. The additional 7.5 feet is for an architectural detail at the front of the proposed hotel approximately 30 feet wide. The applicant is not exceeding the number of floors allowed. As such, staff recommends that the Exception to allow a height of 52.5 feet be granted as shown on the applicant's elevations. A similar Exception was granted for the hotel under construction on the adjacent property to the south.
4. A literal interpretation of this chapter would deprive the applicant of rights that others in the same district are allowed:	As noted above, the property is zoned General Commercial District with a Planned Development Designation. A hotel is identified as a permitted use in the district.

5. Any adverse impacts will be reasonably mitigated:	The applicant is indicating that a potential second phase of development may include a retail building or restaurant approximately 7,500 square feet in size. The applicant should be aware that the proposed future use will require a Traffic Impact Analysis. As such, a Major Amendment to the Planned Development must be submitted for review and approval for Phase II.
6. The requested exception to the underlying zoning district standards is an alternative or innovative practice that reasonably achieves the objective of the existing standard sought to be modified:	The proposed height Exception is for an architectural detail on the front of the hotel measuring approximately 30 feet in width. The requested height Exception does not increase the number of floors and is for an architectural detail. A similar Exception was granted for the hotel under construction on the property to the south. Staff recommends that the Exception request be granted.

Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial
In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following values, principles, goals, and policies within the Rapid City Comprehensive Plan:

Comprehensive Plan Conformance – Core Values Chapters	
 A Balanced Pattern of Growth	
BPG-1.1A	Compact Growth: The property is located in an area of the City with paved streets and water and sewer infrastructure. The proposed development supports the goal of limiting leapfrog development.
 A Vibrant, Livable Community	
LC-5.1A	Varied Activity Centers: The property is located south of Rushmore Crossing which is identified as a Regional Activity Center. The proposed hotel provides a service to visitors to the City.
 A Safe, Healthy, Inclusive, and Skilled Community	
	N/A
 Efficient Transportation and Infrastructure Systems	
TI-2.1A	Major Street Plan Integration: Luna Avenue is identified as a Collector Street on the City's Major Street Plan. The proposed hotel does not trigger a Traffic Impact Study. The applicant should be aware that future uses will require a Traffic Impact Analysis and, as such, will require a Major Amendment to the Planned Development.
 Economic Stability and Growth	
EC-2.1B	Targeted Regional Retail: As noted above, the property is located south of Rushmore Crossing and east of Wal-Mart. The proposed hotel provides a service to visitors to the City.
 Outstanding Recreational and Cultural Opportunities	
	N/A
 Responsive, Accessible, and Effective Governance	

GOV-2.1A	Public Input Opportunities: The proposed Final Planned Development Overlay requires that public notice be advertized in the newspaper and that mailings are sent to property owners within 250 feet of the proposed development. The requested Final Planned Development Overlay application is before the Planning Commission for review and approval. The public has an opportunity to provide input at this meeting.
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Comprehensive Plan Conformance – Growth and Reinvestment Chapter	
Future Land Use Plan Designation(s):	Mixed-Use Commercial
Design Standards:	
N/A	A hotel is identified as a primary use in the Mixed-Use Commercial district.

Comprehensive Plan Conformance – Neighborhood Area Policies Chapter	
Neighborhood:	North Rapid
Neighborhood Goal/Policy:	
NR-NA1.1A	Regional Activity Center: The proposed hotel supports the growth and expansion of the Rushmore Crossing Regional Activity Center.

Findings	
Staff has reviewed the Final Planned Development Overlay to construct a hotel in the General Commercial District pursuant to Chapter 17.50.050(F)5 of the Rapid City Municipal Code and the goals, policies, and objectives of the adopted Comprehensive Plan. The proposed hotel is a permitted use in the General Commercial District and supports the growth and expansion of services adjacent to a Regional Activity Center. The requested height Exception does not increase the number of floors and is for an architectural detail. Staff recommends that the Exception to allow a height of 52.5 feet in lieu of 45 feet be granted.	

Planning Commission Recommendation and Stipulations of Approval	
Staff recommends that the Final Planned Development Overlay to construct a hotel in the General Commercial District be approved with the following stipulations:	
1.	An Exception is hereby granted to allow a height of four stories and 52.5 feet in lieu of the maximum allowed height of four stories and 45 feet for the architectural feature as shown on the submitted elevations;
2.	Upon submittal of a Building Permit, revised plans shall be submitted for review and approval addressing redlined comments;
3.	All signage shall meet the requirements of the Rapid City Sign Code. No electronic or Light Emitting Diode (LED) signage is being approved as a part of this Final Planned Development Overlay. The addition of electronic or LED signage shall require a Major Amendment to the Planned Development. A sign permit is required for any new signs;
4.	A Minimum of 121 parking spaces with five ADA accessible spaces, one being van accessible shall be provided for the hotel;
5.	A minimum of 186,828 landscape points with five landscape islands shall be provided. All landscaping shall be maintained in a live vegetative state; and,
6.	The Final Planned Development Overlay shall allow for a 121 room hotel. Permitted uses within the General Commercial District in compliance with the Parking Ordinance shall be allowed with a Building Permit. Any use that triggers a Traffic Impact Study shall require a Major Amendment to the Planned Development. Any conditional use shall require the review and approval of a Major Amendment to the Planned Development.



Rapid City Community Planning & Development Services

Development Review Advisories

*Disclosure: The Development Review Team has created this list of Advisories as a courtesy for your specific application. **This is not a complete list.** All City, District, State, and Federal requirements must be continually met.*

Applicant Request(s)	
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Companion Case(s) #	N/A
ADVISORIES: Please read carefully!	
1.	A Building Permit shall be obtained prior to any structural construction and a Certificate of Occupancy shall be obtained prior to occupancy;
2.	All requirements of the Infrastructure Design Criteria Manual and the Rapid City Standard Specifications shall be met or an Exception shall be obtained;
3.	All provisions of the underlying zoning district shall be met unless otherwise specifically authorized as a stipulation of this Final Planned Development Overlay or a subsequent Major Amendment;
4.	All outdoor lighting shall continually be reflected within the property boundaries so as to not shine onto adjoining properties and rights-of-way and to not be a hazard to the passing motorist or constitute a nuisance of any kind;
5.	All requirements of the currently adopted Building Code shall be met;
6.	All applicable provisions of the adopted International Fire Code shall continually be met;
7.	ADA accessibility shall be provided throughout the structure and site as necessary; and,
8.	An Air Quality Construction Permit shall be obtained prior to any surface disturbance of one acre or more.