

Case No. 17PD038

Legal Description:

Lots 1 thru 9, Lot 10A and the E1/2 and W1/2 of vacated Canal Street, all of Block 5 of Lampert's Addition No. 2, located in Section 35, T2N, R7E, BHM, Rapid City, Pennington County, South Dakota



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July 13, 2017 (*Amended August 2, 2017*)

Dale Tech, PE/LS – Acting Director
Community Planning & Development Services
City of Rapid City
300 Sixth Street
Rapid City, SD 57701

RE: Final Planned Development – 17PD003
The Gap Rapid City – 405 Canal Street

Dale:

On behalf of Dr. Robert W. Lemley, Managing Member of Landstrom's Gold Creations, LLC and owner of the above referenced property we are submitting an application for a Major Amendment for Phase II of 17PD003. The owner's development schedule has advanced and the purpose of this application is to allow the owner to proceed with development of tenant spaces for Phase II. The purpose of this Major Amendment request is to secure the full/final site parking reduction. Future amendments will be required to address on-sale for the proposed restaurant and micro-brewery.

As previously identified in the original PD application, this development will bring forward a blend of commercial uses that are well suited to this location including food and beverage services with beer and wine sales, retail and office. The location off Cross Street and between West Main and Omaha provides easy access for traffic moving in either easterly or westerly directions. A DOT planned traffic signal at the intersection of Omaha Street Cross Street will facilitate access to and from this site. The location is in close proximity to other downtown commercial uses, City park and recreation areas, the bike path, greenway areas, and residences in both the downtown area and west Rapid.

This application brings forward Phase II development for repurposing of the previous Landstrom's Jewelry (which included manufacturing and retail sales). Phase I was approved on February 23, 2017. The fully developed site will have mixed commercial uses, including a building addition for a coffee shop with drive thru and restaurant with an outdoor dining area, a brewery and retail space on the main floor and office space on the second floor. The lower level will be utilized for storage.

The proposed occupancies remain unchanged from the original submittal – with Phase I including an addition for the coffee shop, drive thru, restaurant, outdoor dining/seating

area, and retail space on the main floor; office space on the second floor; storage on the lower level; the associated common areas (restrooms, etc.); portions of landscaping and public sidewalk extension. Phase II includes the microbrewery, additional office and retail space on the main level; office space on the second floor, additional common and storage areas, the balance of landscape improvements and extension of public sidewalk.

Phase I is intended to develop during 2017-2018. Portions of Phase II such as the brewery are likely to develop during 2017, while other others would follow in 2018 or 2019.

The existing site is almost 100% hard surfaced and accommodated extensive parking which was associated with the prior manufacturing use. The proposed site plan includes reconfiguration of the parking such that it will achieve the following five objectives:

1. Better serve the proposed uses
2. Allow for landscaping improvements
3. Allow for implementation of stormwater quality features where possible
4. Provide handicap accessible access/walkway to the building
5. Extend public sidewalk along the adjoining streets

As is often the case with redevelopment of commercial or industrial buildings and sites that have been in use for nearly a century, matching new uses with current development requirements presents certain difficulties in achieving full compliance.

For Phase II we are requesting that 46 parking spaces be allowed in lieu of 53 spaces (a difference of 1 required parking space from the previous submittal for Phase 1) and for the full site development that the overall parking of 116 spaces be allowed in lieu of 175 (matching the Phase I reduction for overall site development). We believe the reduction in parking to be reasonable based on:

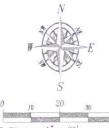
1. The mixed uses within the building will mean that those using the office and/or retail spaces will likely represent a portion of the patrons of the food and beverage services.
2. No future development or parking needs are anticipated in the greenway (flood hazard) areas to the north and west.
3. The property is in close proximity to the bike path and it is anticipated that many of the food and beverage service patrons would be foot and/or bike traffic.
4. The outdoor seating area (1,700 sf = 19 parking spaces) would only be in use during clement weather or roughly 50% of the time.
5. The office and retail spaces would typically be closed or limited during evening and some of the weekend hours which would be times of higher use and occupancy for the restaurant and brewery.

Construction Notes

- ① Construct AC Parking and Circulation Areas
AC surface in accordance with paving recommendations (2,920 SY)
5"AC over 8" Base as called for by geotechnical exploration
9' x 16' perpendicular parking (with overhang)
26' drive aisles or as noted
HC compliant parking to match SW ramp
Coordinate easterly circulation with approach reconstruction by others
- ② Rehabilitate Existing Approach
24' existing approach
Match grades for barrier free SW connectivity
- ③ Construct half curb
See Standard Detail for Profile
Use Slotted Curb Detail at parking perimeters
for modified street flow discharge - finished grade behind slotted curbs shall permit unobstructed stormwater runoff
Furnish & install protective bollards at building corner and refuse enclosure (3 Qs) Coordinate finish w/ architect
- ④ Construct Public Sidewalk
Construct intersection transition & modified Property Line SW (122 LF)
Construct standard Property Line SW (80 LF)
Construct HC Ramp as shown (See Standard Detail)
- ⑤ Construct Thickened Edge Sidewalk
with 6" reveal (width as noted)
See Standard Detail for typical cross section
Construct HC Ramp (See Standard Detail) as shown

Geometric layout data available upon request.
Standard Service Rates Apply
See Grading Plan for site shaping.

NOTE: The current site yields a developed impervious area of 90.1% (this includes the adjoining Rapid and Canal Street ROW area). The proposed Site Plan will provide a reduction of 16.7% in impervious surface (to 73.4%). This reduction equates to a removal 19,830 SF of impervious surface.

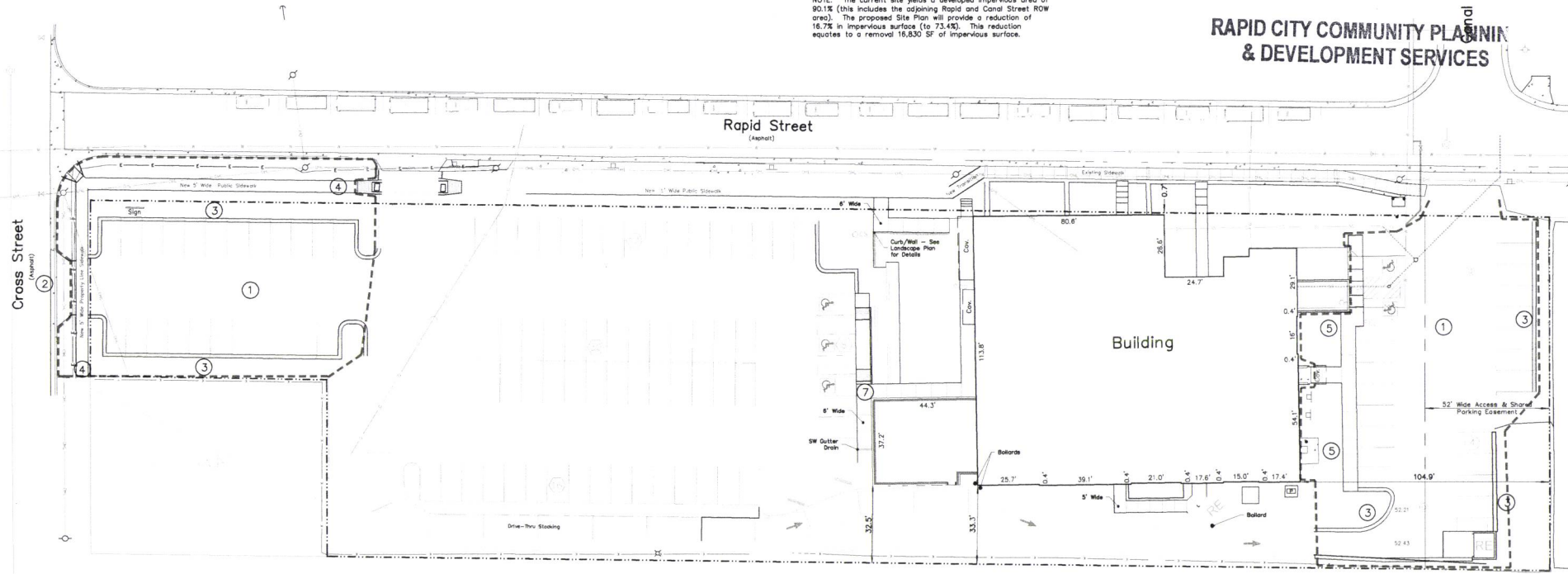


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Canal Street



- LEGEND**
- ⊕ = Sanitary Sewer Manhole (Unless noted)
 - ⊙ = Sanitary Sewer Service Line Cleanout
 - ⊠ = Fire Hydrant
 - ⊕ = Water Valve
 - ⊞ = Curb Stop

ONE CALL BEFORE DIGGING
800-781-7414

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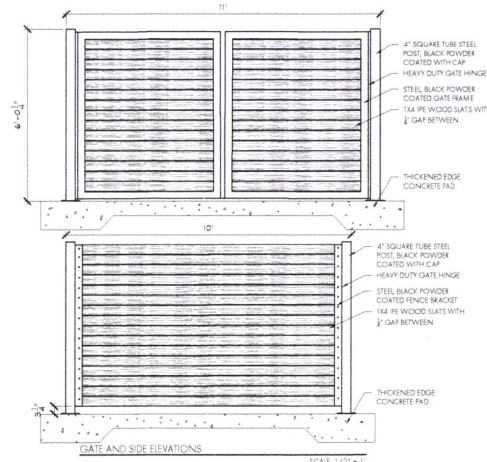
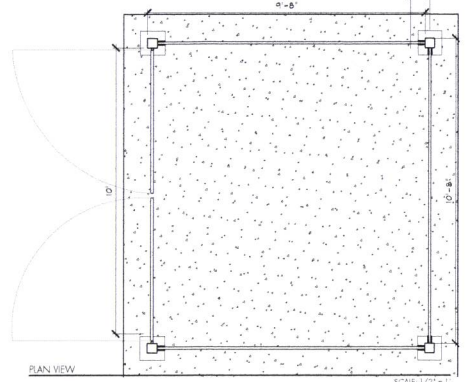
Proposed Site Improvements
The Gap | Rapid City - 405 Canal Street
Lots 1 through 9, and Lot 10A, Block 5, and the E1/2 and the W1/2 of Vacated Canal Street, Lamperts Addition No. 2, Rapid City, Pennington County, South Dakota

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95% Planned Development Review

Surveyed by: CD,BL	Revisions
Date: 10/27/16	
Drawn by: RWF	
Date: 7-11-17	
Checked by: JF/SOT	
Project No: 15-10-07	

Proposed Site Plan
C4 of 7



PROJECT PLANT SCHEDULE

PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY
(Symbol)	SKYLINE HONEYLOCUST	GLEITSIA TRIACANTHOS INERMIS	8
(Symbol)	GREAT PLAINS YUCCA	YUCCA GLAUCA	12
(Symbol)	MAY NIGHT SALVIA	SALVIA NEMEROSA	7
(Symbol)	AUTUMN JOY SEDUM	SEDUM SP.	8
(Symbol)	BOULDER BLUE FESCUE	FESTUCA GLAUCA	221
(Symbol)	SONORAN SUNSET HYSSOP	AGASTACHE CANNA	6
(Symbol)	SMOOTH SILVER BIRCH	RHUS GLABRA	4
(Symbol)	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW	31

IRRIGATION NOTES

- GENERAL
1. SITE SHALL BE DEVELOPED WITH IRRIGATED LANDSCAPE DESIGN IN THE SITE INTERIOR.
 2. PERIMETER PLANTINGS SHALL BE NON-IRRIGATED.
 3. A DRIP IRRIGATION SYSTEM WITH AN AUTOMATED CONTROLLER SHALL BE USED WITH THE IRRIGATED LANDSCAPING.
 4. IRRIGATION SYSTEMS SHALL UTILIZE EQUIPMENT TO MAXIMIZE EFFICIENCY IN WATER USAGE.
 5. SLEEVES WILL BE PROVIDED UNDER PAVED SURFACES AS NECESSARY.
 6. ALL APPURTENANCES WILL BE BRANDED & IDENTIFIED.
 7. EXACT LOCATION FOR IRRIGATION CONTROLLER SHALL BE DETERMINED BY OWNER'S REPRESENTATIVE & GENERAL CONTRACTOR. COORDINATE POWER SUPPLY AND WIRE SLEEVING WITH GENERAL CONTRACTOR.
 8. IRRIGATION SHALL BE CONTROLLED TO ALLOW INFILTRATION OF APPLIED WATER AND REDUCE RUNOFF.

SCHEMATIC PLANTING NOTES

- GENERAL REQUIREMENTS
1. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND WORKMANSHIP-LIKE MANNER ACCORDING TO ACCEPTED GOOD PLANTING AND XERISCAPING PROCEDURES AND ACCORDING TO THE APPROVED PLAN. IF AT THE TIME OF FINAL INSPECTION ALL THE REQUIREMENTS OF THESE REGULATIONS HAVE NOT BEEN COMPLETED IN A SATISFACTORY MANNER, A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED UNLESS THE BUILDER OR OWNER HAS PROVIDED A MONETARY SECURITY GUARANTEE.
 2. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED AS PER PLANS SUBMITTED.
 3. TREES USED IN PARKING LOTS SHALL BE PLACED A MINIMUM OF 30' FROM ANY CURB.
 4. THE PARKING LOT SHALL BE SCREENED BY LANDSCAPE AND AMENITIES AS SHOWN.
 5. MULCHES SHALL BE PROVIDED PER PLANS.
 6. ANY SUBSTITUTE PLANT TYPES SELECTED SHALL BE SUITED TO THE CONDITIONS OF THE LOCATION TO MINIMIZE MAINTENANCE AND IRRIGATION NEEDS.

LANDSCAPE POINT CALCULATIONS

SITE AREA	64,885 SF
BUILDING AREA	15,937 SF
POINTS REQUIRED: 66,714*	
16% REDUCTION IN LANDSCAPE POINTS REQUESTED TO REDUCE REQUIRED POINTS TO 57,724	
POINTS PROVIDED	
EXISTING PLANTING	4,000 POINTS
3 LARGE TREES	6,000 POINTS
4 MEDIUM TREES	4,500 POINTS
9 SMALL TREES	14,500
NEW PLANTING	
8 LARGE TREES	2,000 PTS EA 16,000
35 SHRUBS	250 PTS EA 8,750
1,358 SF GROUND COVER	100 PTS/SQ YD 135,800
341 SF GRASS	10 PTS/SQ YD 3,410
TOTAL POINTS ALL PHASES	57,748
POINTS PROVIDED PHASE 1: 53,124 (91%)	
POINTS PROVIDED PHASE 2: 4,624 (8%)	

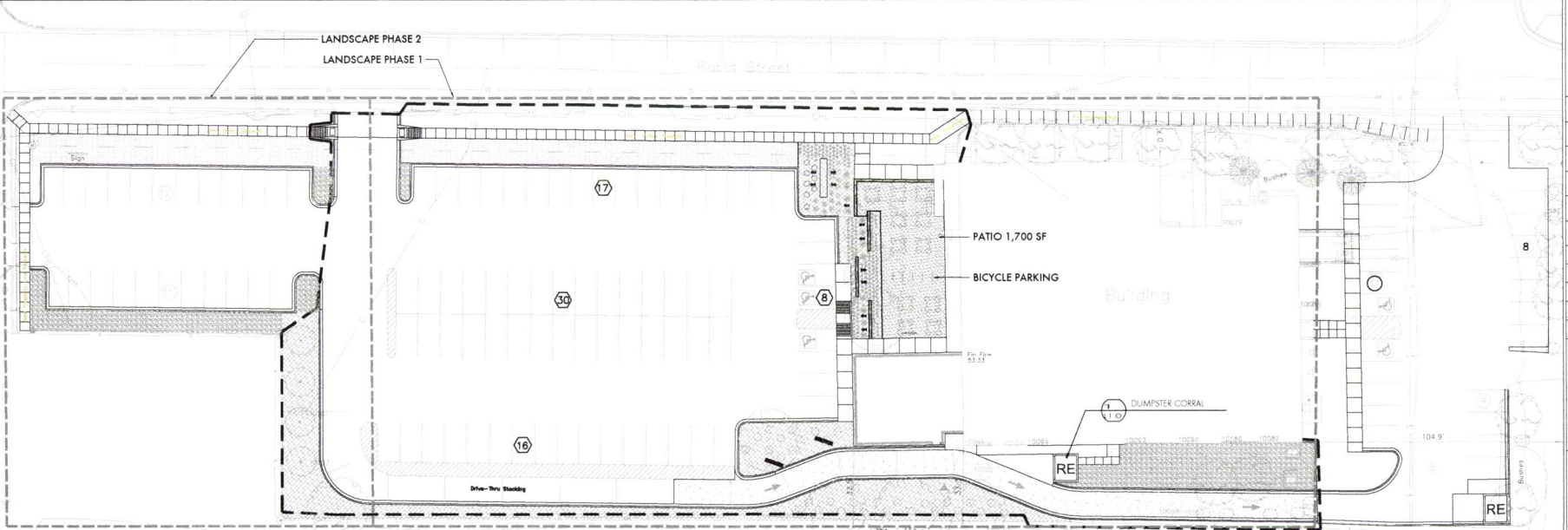
SURFACING LEGEND

SYMBOL	DESCRIPTION
(Symbol)	CARE-FREE TURF GRASS MIX 6 LBS/1,000 S.F. STANDARD SLURRY MIX (3,089 SF)
(Symbol)	SHREDDED BARK MULCH
(Symbol)	ROCK MULCH
(Symbol)	COMPACTED GRAVEL PATIO

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Landscape Architecture for the American West

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REVISIONS:

DATE:	BY:

RELEASE DATE: _____
PROJECT CONTACT: _____
PROJECT NUMBER: _____

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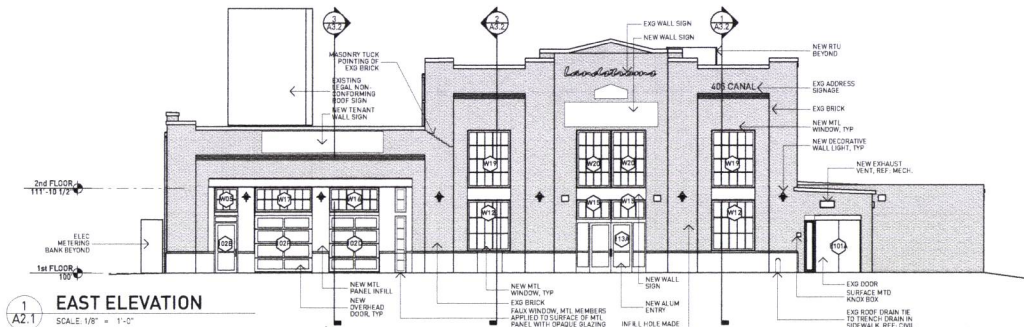
RAPID CITY, SD

PD-FINAL SUBMITTAL

7/14/2017

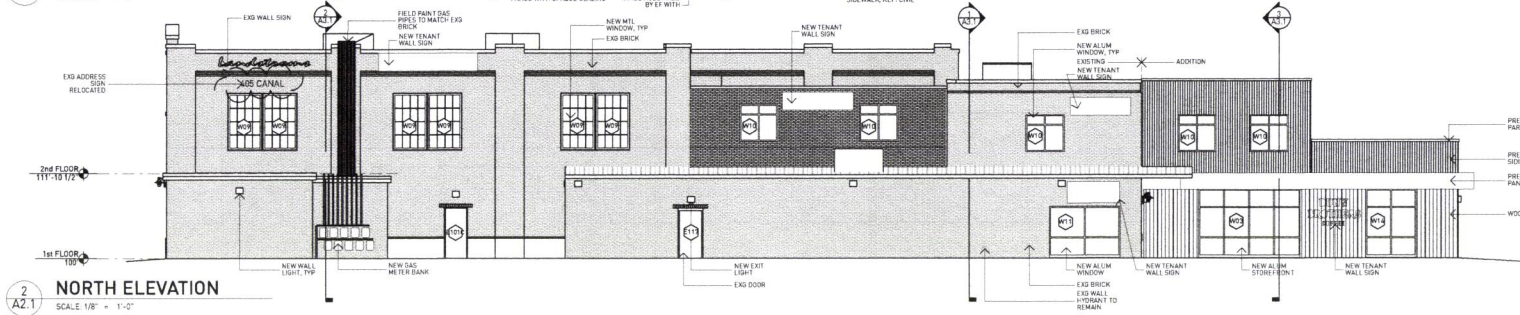
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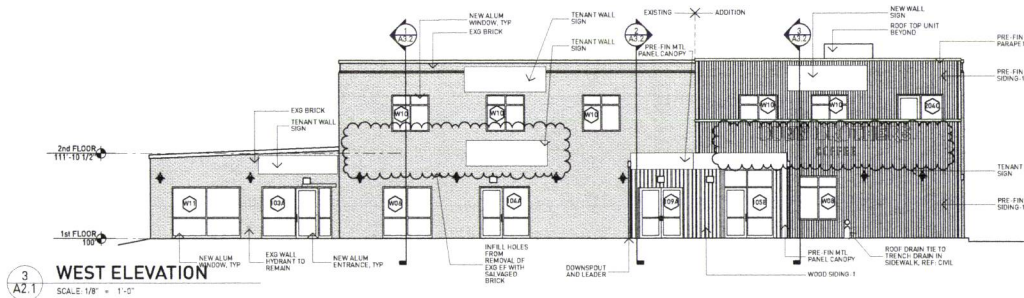
EAST ELEVATION

SCALE: 1/8" = 1'-0"



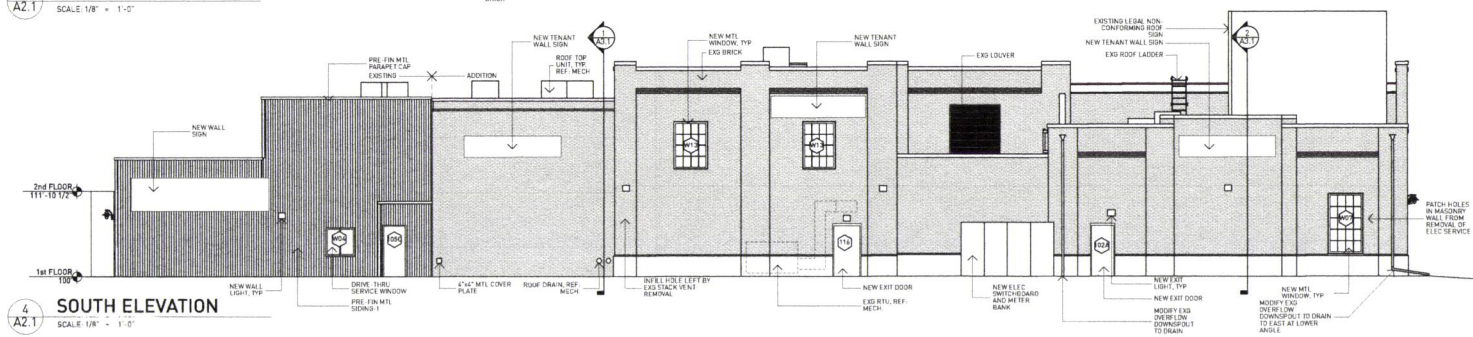
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION SHEET NOTES

- A VERIFY ALL DIMENSIONS & CONDITIONS @ JOB SITE
- B CONSTRUCTION AS REQUIRED TO BE RECONSTRUCTED BY GC AS REQ'D TO MATCH ADJ. CONDITIONS AND TO MAINTAIN WEATHER-TIGHTNESS
- C GC TO PROVIDE SHOP DRAWINGS SHOWING LAYOUT AND DETAIL OF EXPANSION / CONTROL JOINTS

SIGNAGE ORDINANCE NOTES

04. PERMITS WALL SIGNS PER RAPID CITY ORDINANCE 17.30.132
 7.5' SF OF SIGN PER LINEAR FOOT OF PROPERTY FRONTAGE ON PUBLIC WALK
 TOTAL ALLOWABLE: 1,380 SF OF WALL SIGNAGE ALLOWED
 BILLBOARD: 11' SF OF EXIST' LEGAL NON-CONFORMING SIGN
 EFFECTIVE ALLOWABLE: 1,368 SF
 PROPOSED ALL ELEVATIONS: 645 SF OF WALL SIGNAGE

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PD FINAL SUBMITTAL
405 CANAL STREET, RAPID CITY SD 57701
 PROJECT #1519 (1700B)
 STATUS: MAJOR AMENDMENT TO PLANNED DEVELOPMENT

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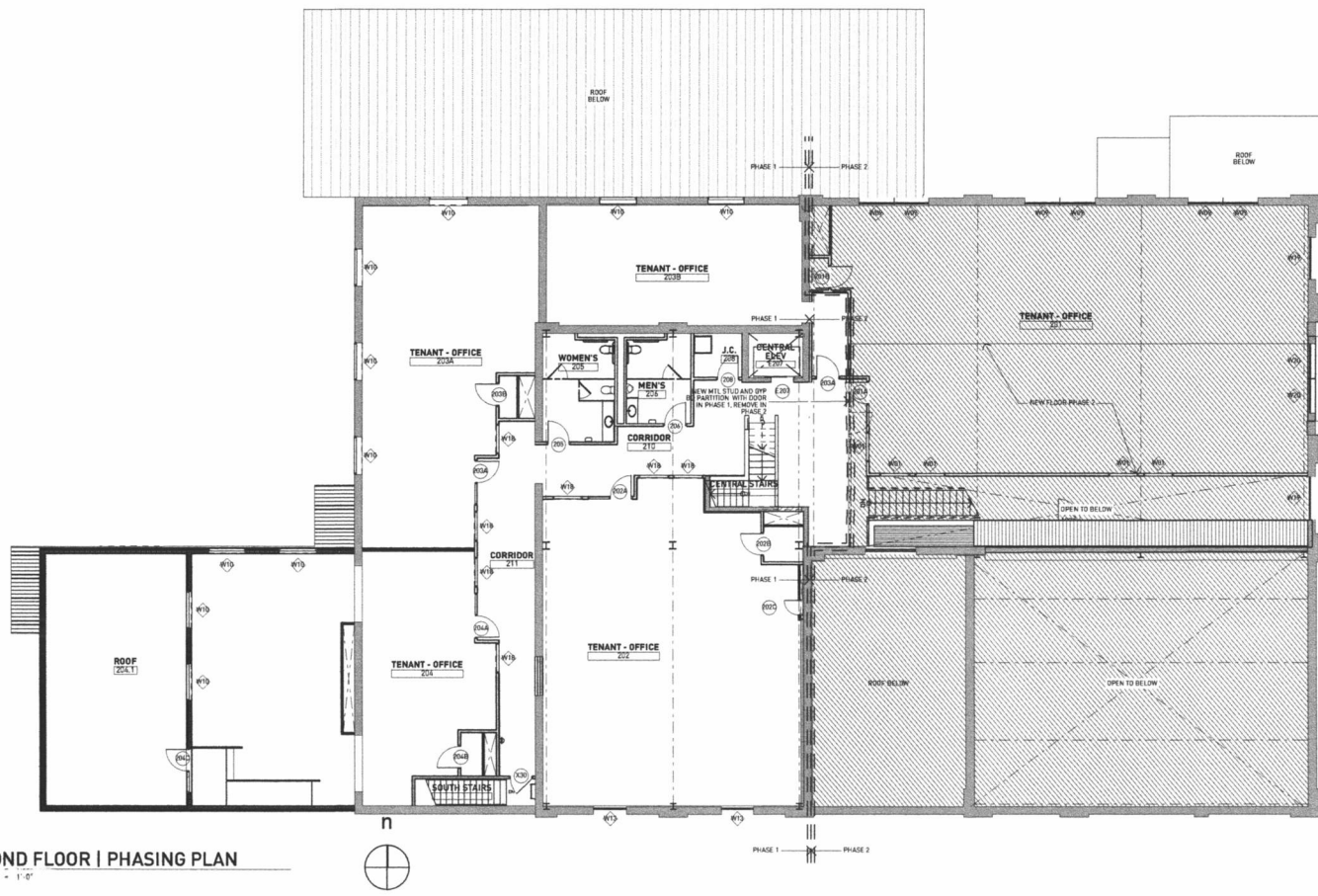
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BUILDING ELEVATIONS

A2.1



1
G0.4
SECOND FLOOR | PHASING PLAN
SCALE: 1/8" = 1'-0"

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 405 CANAL STREET, RAPID CITY SD 57701
 PROJECT #1519 (17008)
 STATUS: MAJOR AMENDMENT TO PLANNED DEVELOPMENT

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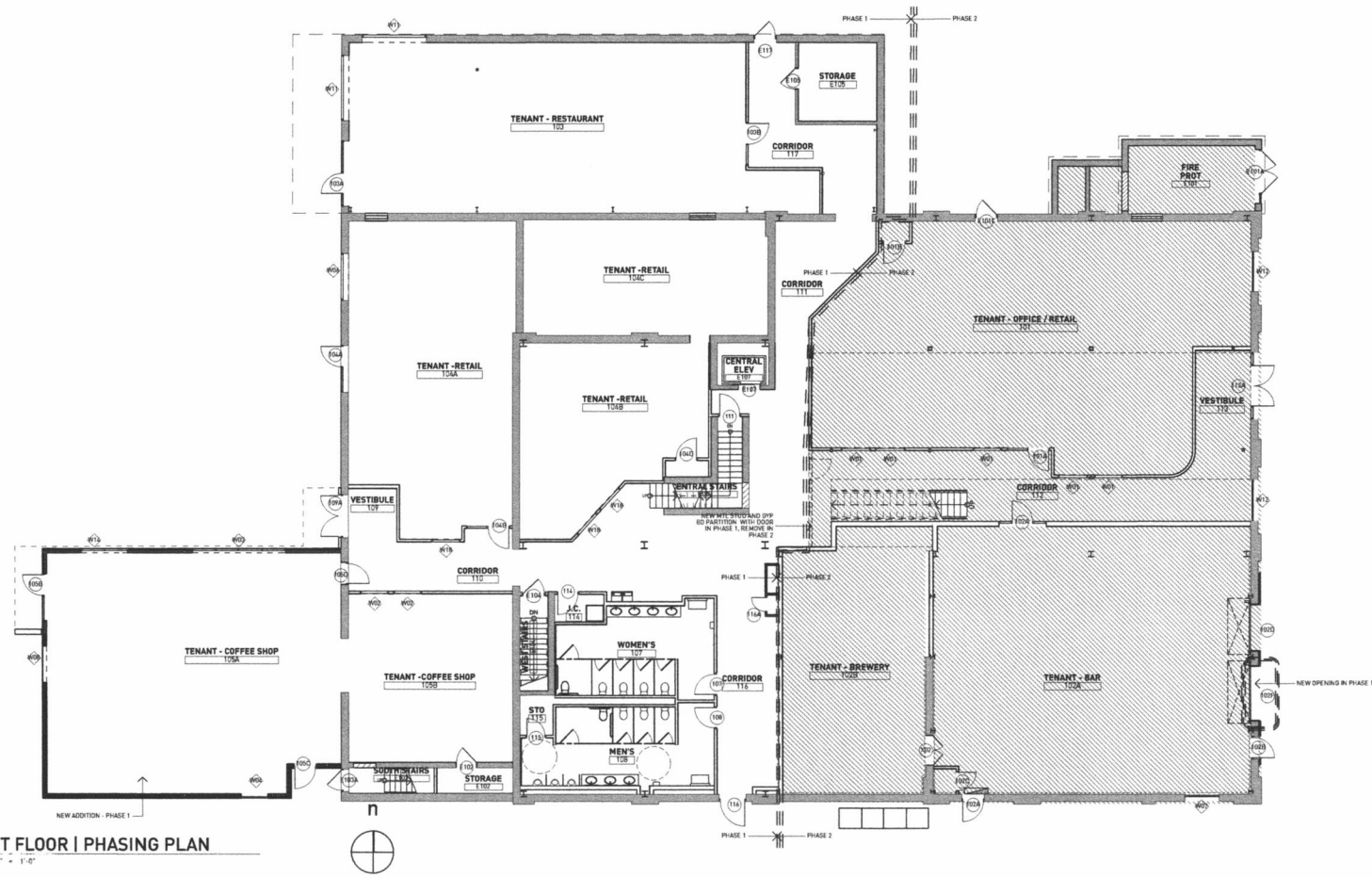
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SECOND FLOOR | PHASING
 PLAN

G0.4



1
G0.3
SCALE: 1/8" = 1'-0"

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PD FINAL SUBMITTAL
 405 CANAL STREET, RAPID CITY SD 57701
 PROJECT #1519 (17008)
 STATUS: MAJOR AMENDMENT TO PLANNED DEVELOPMENT



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FIRST FLOOR | PHASING PLAN

G0.3



1
G0.2
BASEMENT LEVEL | PHASING PLAN
SCALE: 1/8" = 1'-0"

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BASEMENT LEVEL | PHASING PLAN

G0.2