



Rapid City Planning Commission

Conditional Use Permit Project Report

February 23, 2017

Item #6
Applicant Request(s)
Case # 17UR002 – Conditional Use Permit to allow an over-sized garage
Companion Case(s) # N/A

Development Review Team Recommendation(s)
The Development Review Team recommends that the Conditional Use Permit be approved with the stipulations noted below.

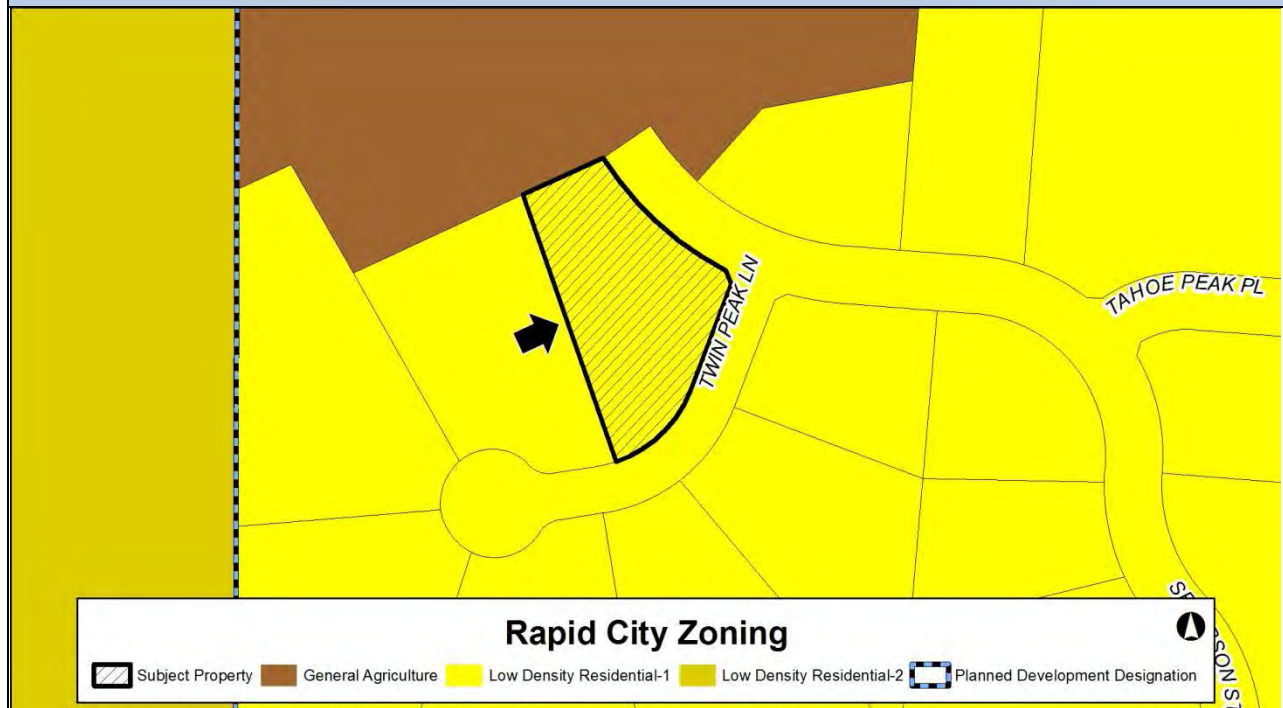
Project Summary Brief	
<p>(Update February 13, 2017. All revised and/or added text is shown in bold.) This item was continued from the February 9, 2017 Planning Commission due to a publication error. The correct notifications were mailed for the February 23, 2017 Planning Commission meeting. As such, staff recommends that the Conditional Use Permit to allow an over-sized garage be approved with the stipulations noted below. Please note that no other part of this report has been changed. Update 2/3/17. Due to publication error, this item must be continued to the February 23, 2017 Planning Commission meeting. The applicant has submitted a Conditional Use Permit to allow an over-sized garage measuring 2,234 square feet in size in lieu of the maximum allowed 1,500 square feet. In particular, the applicant is proposing to construct a single-family dwelling with an attached garage measuring 1,234 square feet in size and a detached garage measuring 1,000 square feet in size. The proposed detached garage will be located to the rear of the dwelling. The applicant has stated that the garage will not be used for commercial purposes or as a second residence. The applicant has also submitted an elevation drawing identifying that the dwelling and detached garage will be constructed of cultured stone, horizontal siding, EIFS panels, timber columns and steel accents.</p>	
Development Review Team Contacts	
Applicant: Joel Brink	Planner: Fletcher Lacock
Property Owner: Joel and Rebecca Brink	Engineer: Dan Kools
Architect: N/A	Fire District: Tim Behlings
Engineer: N/A	School District: N/A
Surveyor: N/A	Water/Sewer: Dan Kools
Other: N/A	DOT: Stacy Bartlett

Subject Property Information	
Address/Location	Southwest corner of the intersection of Severson Street and Twin Peak Lane
Neighborhood	Sheridan Lake Road
Subdivision	Dunham Estates
Land Area	0.81 acres (35,283 square feet)
Existing Buildings	Void of structural development
Topography	Property slopes from the northeast to southwest with a rise in elevation of 28 feet
Access	Twin Peak Lane
Water Provider	Rapid City
Sewer Provider	Rapid City
Electric/Gas Provider	Black Hills Power / MDU
Floodplain	N/A

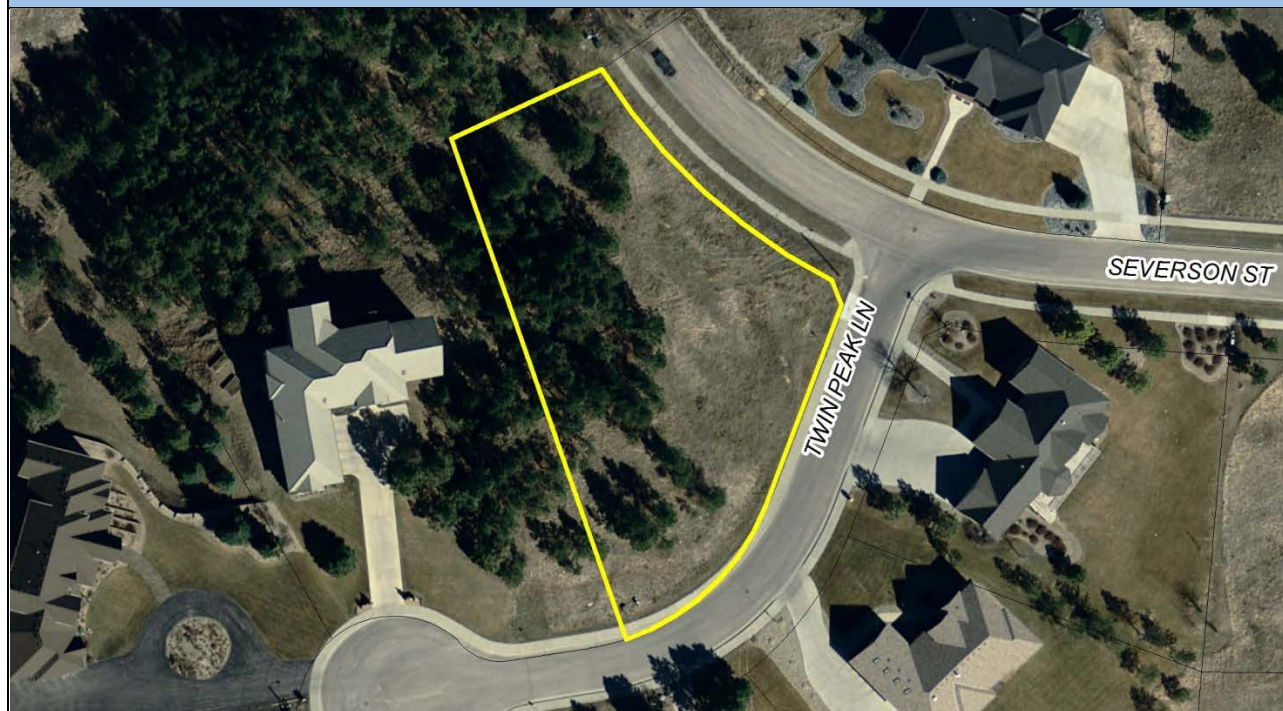
Subject Property and Adjacent Property Designations

	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	LDR	LDN	Proposed single-family dwelling with an attached and a detached garage
Adjacent North	GA	LDN	Void of structural development
Adjacent South	LDR	LDN	Single-family dwelling
Adjacent East	LDR	LDN	Single-family dwelling
Adjacent West	LDR </td <td>LDN</td> <td>Single-family dwelling</td>	LDN	Single-family dwelling

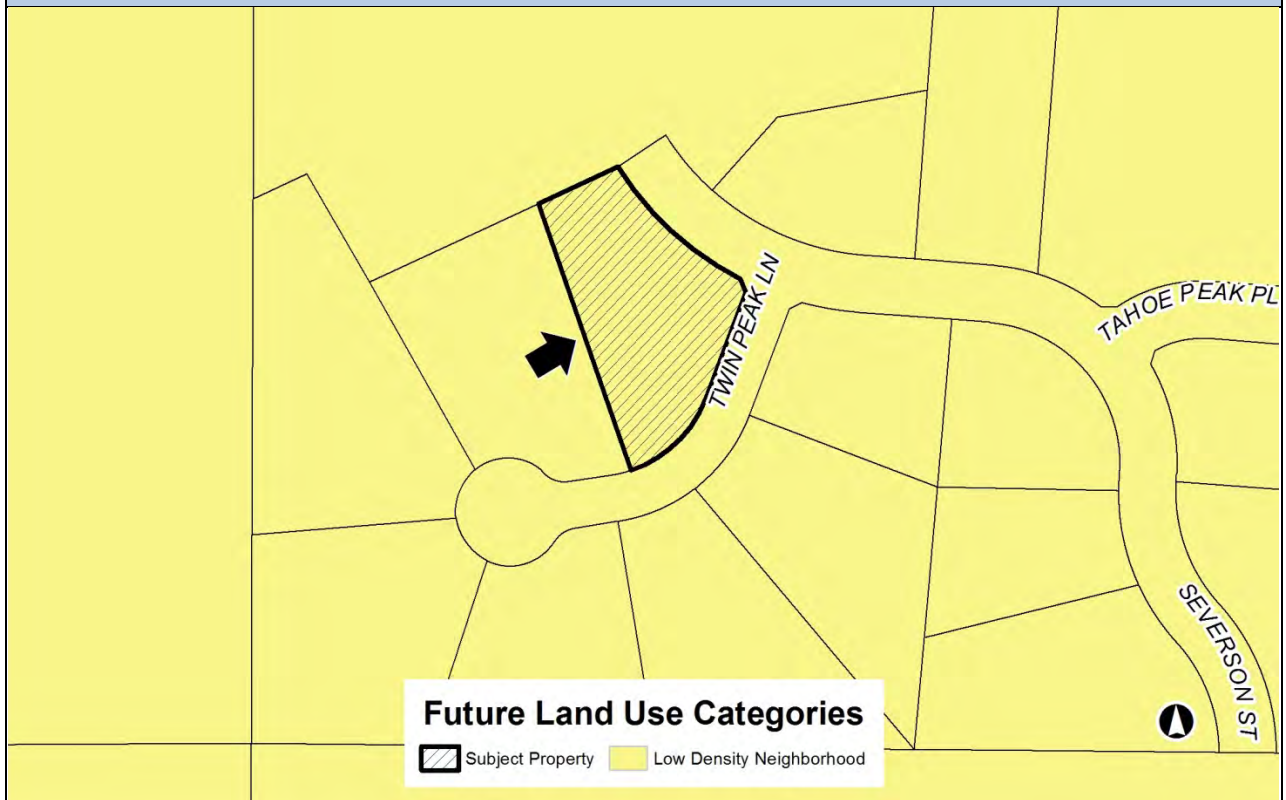
Zoning Map



Existing Land Uses



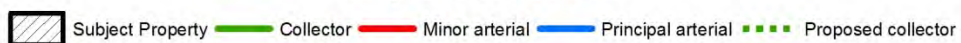
Comprehensive Plan Future Land Use



Parks or Transportation Plan



Major Street Plan



Relevant Case History			
Case/File#	Date	Request	Action
N/A			
Relevant Zoning District Regulations			
Low Density Residential District	Required	Proposed	
Lot Area	6,500 square feet	Approximately 35,283 square feet	
Lot Frontage	Minimum 50 feet at the front building line	Approximately 420 feet	
Maximum Building Heights	2.5 stories, 35 feet	Two stories	
Maximum Density	30%	13.8%	
Minimum Building Setback:			
• Front	25 feet	40 feet	
• Rear	25 feet to primary structure / 5 feet to accessory structures	85 feet	
• Side	12 feet	16 feet	
• Street Side	20 feet	30 feet	
Minimum Landscape Requirements:			
• # of landscape points	N/A	N/A	
• # of landscape islands	N/A	N/A	
Minimum Parking Requirements:			
• # of parking spaces	2	2	
• # of ADA spaces	N/A	N/A	
Signage	Pursuant to RCMC	No signage proposed	
Fencing	Pursuant to RCMC	None proposed	

Planning Commission Criteria and Findings for Approval or Denial	
Pursuant to Section 17.10.030 of the Rapid City Municipal Code the Planning Commission shall consider the following criteria for a request to allow an over-sized garage	
1. The proposed garage is consistent with the residential character of the property on which it is located and with the surrounding neighborhood:	The applicant is proposing to construct a single-family dwelling with an attached garage and a detached garage. The applicant has indicated that the garage is intended for storage of sport and recreational vehicles. All requirements of the Zoning Ordinance are being met. The applicant has also submitted elevations demonstrating that the proposed detached garage will be constructed with the same character of the residential structure.
2. The proposed garage shall be used for residential purposes incidental to the principal use of the property:	As noted above, the applicant has stated that the garage is not intended for commercial purposes and is intended for storage of sport recreational vehicles.
3. Landscaping or fencing may be required to screen the garage from neighboring properties:	The proposed detached garage will be located on the west side of the property behind the proposed dwelling and attached garage. The proposed garages will be accessed from an approach located on Twin Peak Lane on the south side of the property. The orientation of the garage and the existing landscaping should mitigate any negative impacts to adjacent properties.
4. The applicant submits a site plan with elevation drawings in addition to information on what types of building materials will be used for the garage:	The applicant has submitted an elevation drawing identifying that the dwelling, attached garage, and detached garage will be constructed of cultured stone, EIFS panels, horizontal siding, timber columns and steel accent beams.

Staff has also reviewed the proposed over-sized garage with respect to Chapter 17,54.030(E) of the Rapid City Municipal Code and has noted the following issues:	
1. The location, character and natural features of the property:	The property is located on the southwest corner of the intersection of Severson Street and Twin Peak Lane. The property rises in elevation approximately 20 feet from the northeast to the southwest.
2. The location, character and design of adjacent buildings:	Properties to the east, west, and south are developed with single-family dwellings. The property to the north is currently void of any structural development.
3. Proposed fencing, screening and landscaping:	The applicant is not proposing any additional landscaping or fencing. The rise in elevation from east to west and the existing trees provide a physical buffer.
4. Proposed vegetation, topography and natural drainage:	The property to the west is at a higher elevation than the subject property. There are existing trees located along the west property line.
5. Proposed pedestrian and vehicular access, circulation and parking, including that related to bicycles and other unpowered vehicles and provisions for handicapped persons:	Vehicular access will be from Twin Peak Lane and not from Severson Street; which is identified as a Collector Street on the City's Major Street Plan. Property line sidewalk is located along Severson Street and Twin Peak Lane.
6. Existing traffic and traffic to be generated by the proposed use:	It is not anticipated that a single-family dwelling will generate significant traffic.
7. Proposed signs and lighting:	The applicant is not proposing any signage. Typical lighting for a dwelling will be installed. The applicant should be aware that all outdoor lighting must continually be reflected within the property boundaries so as to not shine onto adjoining properties and rights-of-way and to not be a hazard to the passing motorist or constitute a nuisance of any kind.
8. The availability of public utilities and services:	The property is currently served by public utilities including Rapid City sewer and water. The applicant should be aware that the Rapid City Fire Department has indicated that there may not be adequate fire flows available in the area to support the size of the proposed dwelling. The Rapid City Fire Department would encourage a residential fire sprinkler protection system within the dwelling to offset the fire flow deficiency.
9. The objectives of the adopted comprehensive plan and the purpose of the ordinance codified herein:	The property is zoned Low Density Residential District. A single-family dwelling with an attached garage is a permitted use in the district. An over-sized garage is a conditional use in the district.
10. The overall density, yard, height and other requirements of the zone in which it is located:	The proposed single-family dwelling with an attached garage and a detached garage is in compliance with all area regulations except for the garage size.
11. The effects of noise, odor, smoke, dust, air, and water pollution and the degree of control through the use of clarifiers, screening, setbacks and orientation:	It does not appear that the proposed use will have a negative effect on noise, odor, smoke, dust, air, and water pollution.
12. The degree to which conditions imposed will mitigate any probable adverse impacts of the proposed use on existing adjacent uses:	The stipulations of approval will ensure that the proposed over-sized garage will maintain the residential character of the neighborhood and will not be used for commercial purposes.

Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial

In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following values, principles, goals, and policies within the Rapid City Comprehensive Plan:

Comprehensive Plan Conformance – Core Values Chapters

	A Balanced Pattern of Growth
BPG-1.1A	Compact Growth: The property is located adjacent to Severson Street and Twin Peak Lane with existing paved streets, sidewalk, and public utilities.
	A Vibrant, Livable Community
LC-2.1D	Neighborhood Character: The proposed detached garage will be constructed behind the proposed dwelling. One driveway will serve the attached and detached garage which will be accessed from Twin Peak Lane, the lower order street.
	A Safe, Healthy, Inclusive, and Skilled Community
	N/A
	Efficient Transportation and Infrastructure Systems
TI-2.1A	Major Street Plan Integration: Severson Street is identified as a Collector Street on the City's Major Street Plan. The proposed dwelling will be accessed from Twin Peak Lane, the lower order street.
	Economic Stability and Growth
	N/A
	Outstanding Recreational and Cultural Opportunities
	N/A
	Responsive, Accessible, and Effective Governance
GOV-2.1A	Public Input Opportunities: The proposed Conditional Use Permit requires that public notice be advertized in the newspaper and that mailings are sent to property owners within 250 feet of the proposed development. The requested Conditional Use Permit is before the Planning Commission for review and approval. The public has an opportunity to provide input at this meeting.

Comprehensive Plan Conformance – Growth and Reinvestment Chapter

Future Land Use Plan Designation(s):	Low Density Neighborhood
Design Standards:	
SDP-N4	Garage Placement: The property is zoned Low Density Residential District and an over-sized garage is identified as a conditional use in the district. The proposed over-sized garage will be located behind the dwelling which supports the goal of reducing the visual prominence of garages.

Comprehensive Plan Conformance – Neighborhood Area Policies Chapter

Neighborhood:	Sheridan Lake Road
Neighborhood Goal/Policy:	
SLR-	Residential Growth: The property is located along on the southwest corner of the

NA1.1B	intersection of Severson Street and Twin Peak Lane in a residential development with paved streets, sidewalks, and access to public water and sewer.
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Findings	
Staff has reviewed the Conditional Use Permit to allow an over-sized garage pursuant to Chapter 17.10.030 and Chapter 17.54.030 of the Rapid City Municipal Code and the goals, policies, and objectives of the adopted Comprehensive Plan. The property has access to existing public infrastructure and has an innovative design that will enhance the residential character of the neighborhood. The applicant has indicated that the garage will not be used for commercial purposes and is intended for recreational storage incidental to the primary residence.	

Planning Commission Recommendation and Stipulations of Approval	
Staff recommends that the Conditional Use Permit to allow an over-saized garage be approved with the following stipulation:	
1.	An Exception is hereby granted to allow an over-sized garage of 2,234 square feet in lieu of the maximum 1,500 square feet;
2.	The proposed over-sized attached garage shall be constructed with the same character as shown on the applicant's submitted elevations. Any change to the character of the detached garage shall require a Major Amendment to the Conditional Use Permit; and,
3.	The Conditional Use Permit shall allow for an over-sized garage for the property. The garage shall not be used for commercial purposes or as a second residence. In addition, the garage shall not be used as a rental unit. Any change in use that is a permitted use in the Low Density Residential District shall require a building permit. Any change in use that is a Conditional Use in the Low Density Residential District shall require the review and approval of a Major Amendment to the Conditional Use Permit.



Rapid City Community Planning & Development Services

Development Review Advisories

*Disclosure: The Development Review Team has created this list of Advisories as a courtesy for your specific application. **This is not a complete list.** All City, District, State, and Federal requirements must be continually met.*

Applicant Request(s)	
Case # 17UR002	Conditional Use Permit to allow an over-sized garage
Companion Case(s) #	N/A
ADVISORIES: Please read carefully!	
1.	A Building Permit shall be obtained prior to any construction. A certificate of completion shall be obtained prior to initiation of the use;
2.	All requirements of the Infrastructure Design Criteria Manual and the Rapid City Standard Specifications shall be met;
3.	All requirements of the currently adopted Building Code shall be met; and,
4.	All requirements of the International Fire Code shall be met.