

**Subject property:**  
6015 Nameless Cave Rd  
Rapid City, SD 57702

9-7-23

**Owner:**  
Jon Eizinger  
6015 Nameless Cave Rd.  
Rapid City, SD 57702  
605-484-4374  
joneizinger@gmail.com

Re: Sidewalk Variance Request for second garage / storage building and future ADU.

I have been approved (conditional use permit) to build a second garage on the property located at 6015 Nameless Cave Road which is where my primary residence is located. I eventually plan to also build an ADU home on this same 3.35 acer property which would also require a sidewalk.

Currently there the nearest side walk is about a mile away near the dog park. There are no sidewalks on Nameless Cave Road which is a substandard road with no curb or gutter. This is a rural forest setting with no City services to my property. This area consists of a steep canyons, lots of large rock with natural drainage following the road. There are massive topographic constraints which make putting in a sidewalk impractical and maybe even impossible (see photos below). This sidewalk would only service my own property and serve no purpose. I would request the side walk requirement be waived in this situation. The variance request is submitted as allowed for by Section 12.08.060C of the Rapid City Municipal Code.



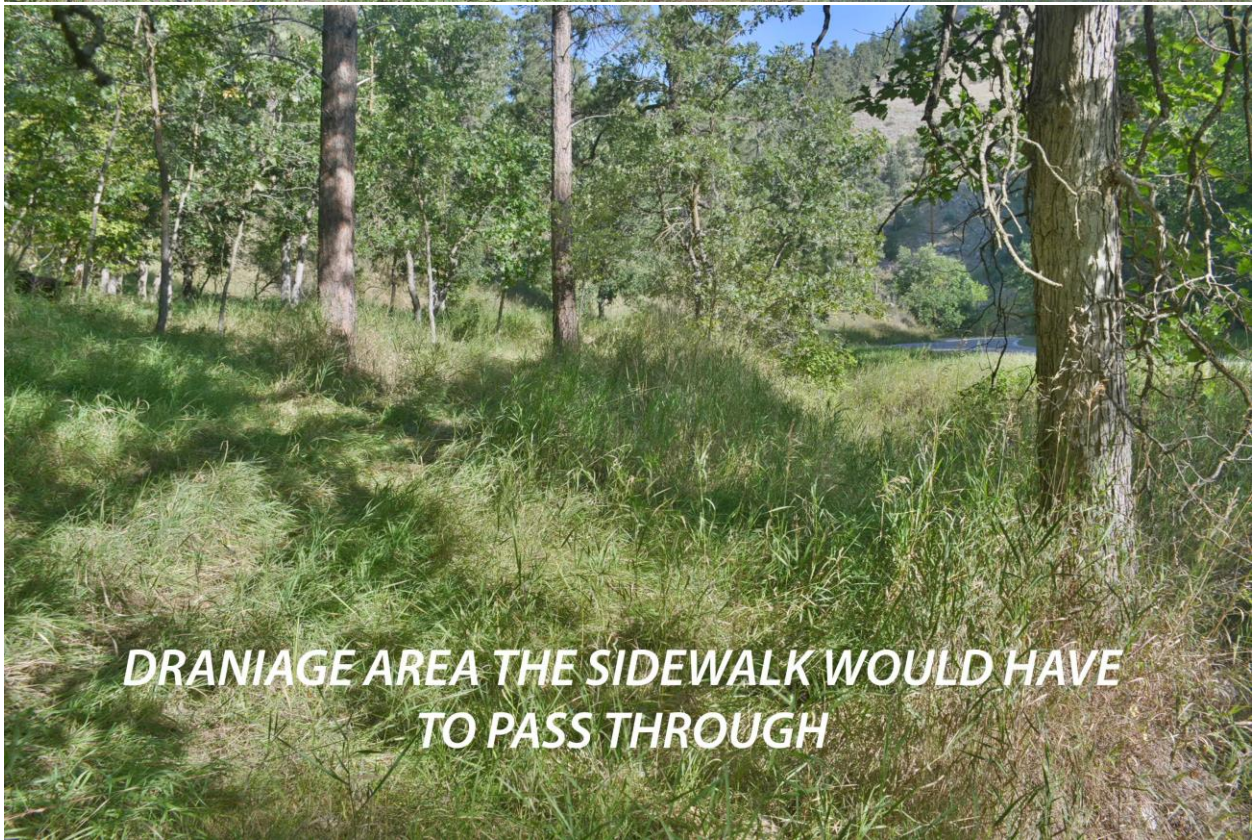
*PROPERTY TO THE SOUTH OF SUBJECT PROPERTY*



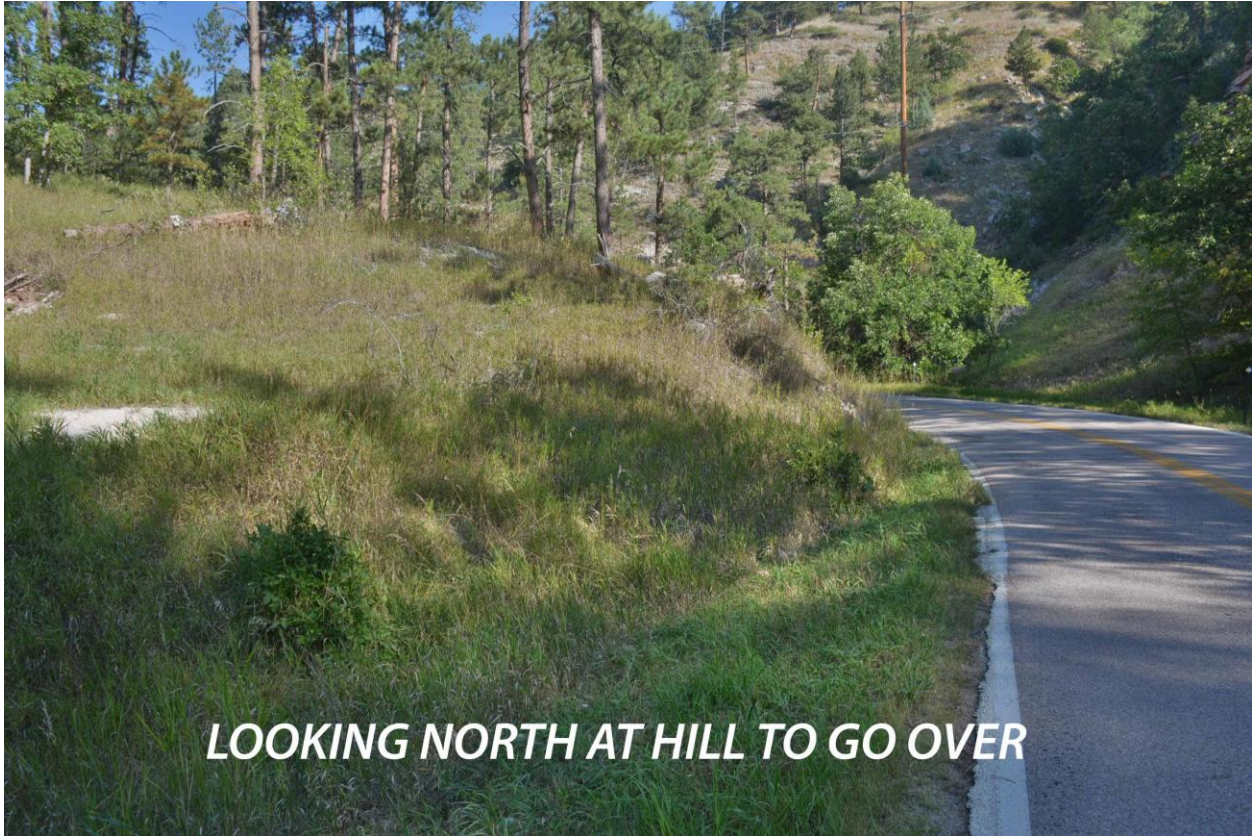
*END OF SIDEWALK SOUTH PROPERTY LINE*



***DRAINAGE AREA LOOKING NORTH MIDDLE OF THE PROPERTY***



***DRAINAGE AREA THE SIDEWALK WOULD HAVE TO PASS THROUGH***





*LOOKING NORTH FROM NORTH PROPERTY LINE*



*LOOKING SOUTH FROM NORTH LOT LINE*

