



Rapid City Planning Commission

Final Planned Development Project Report

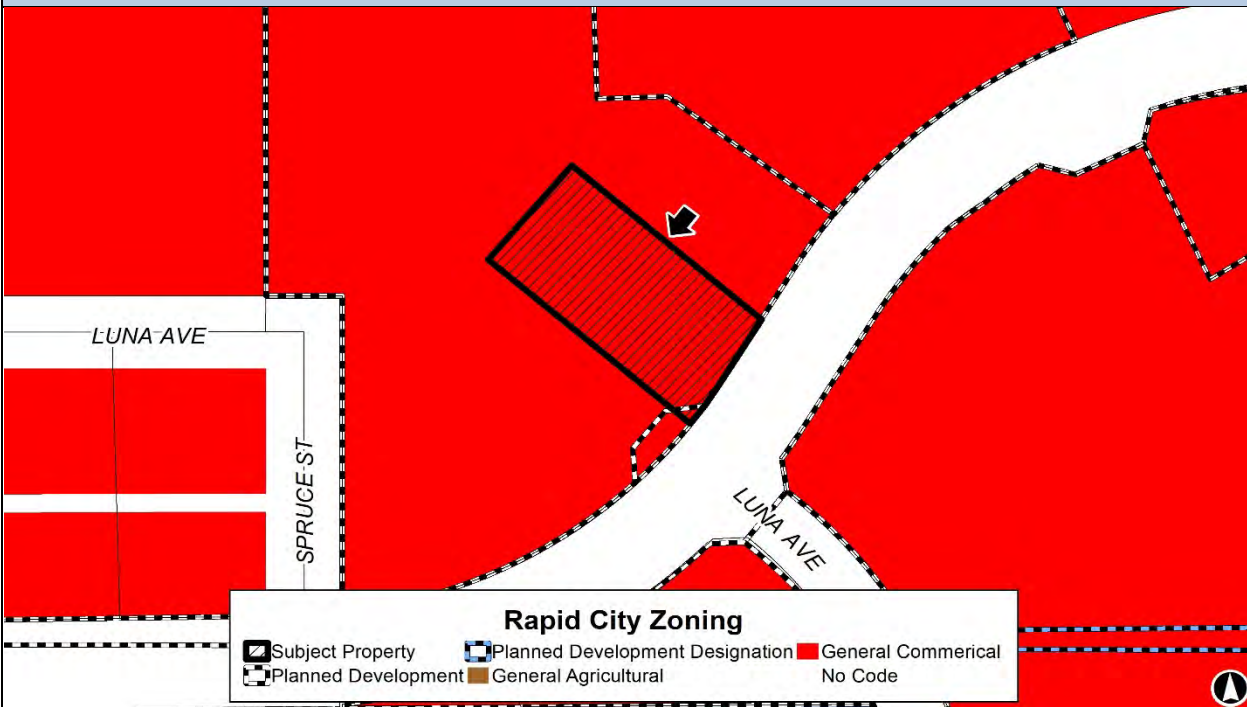
November 10, 2022

Item #2	
Applicant Request(s)	
Case #22PD047 – Final Planned Development Overlay to construct a commercial building	
Companion Case(s) N/A	
Development Review Team Recommendation(s)	
Staff recommends that the Final Planned Development Overlay be approved with the stipulations noted below.	
Project Summary Brief	
<p>The applicant has submitted a Final Planned Development Overlay to construct a commercial building on the property located north of the intersection of Eglin Street and Luna Avenue. The property is comprised of 8.66 acres of undeveloped land zoned General Commercial District. On September 19, 2022, the Planning Commission approved a Preliminary Subdivision Plan (#22PL092) for the property to create two commercial lots, leaving a non-transferable balance. This application pertains to the proposed 0.85-acre lot located in the southeast corner of the property.</p> <p>The applicant is proposing to construct a commercial building that is 3,540 square feet in size and one story or 22.4 feet in height. The proposed development will be used for Chapter Aesthetic Studio which offers a range of non-surgical and cosmetic procedures, including injectables, laser skin treatment, and body treatment. The building will be located on the eastern portion of the proposed lot with parking and landscaping to the north, west, and south. The main entrance will be located on the southwest wall of the building.</p> <p>On April 26, 2007, the Planning Commission approved an Initial Planned Development Overlay (#07PD019) to allow the preliminary development plan of the entire Rushmore Crossing campus. A Final Planned Development Overlay is required prior to any development within this 127-acre boundary.</p>	
Applicant Information	Development Review Team Contacts
Applicant: CPP Rushmore II LLC	Planner: Tanner Halonen
Property Owner: CPP Rushmore II LLC	Engineer: Emily Fisher
Architect: Excel	Fire District: Chip Premus
Engineer: Renner Associates, LLC	School District: Kumar Veluswamy
Surveyor: Renner Associates, LLC	Water/Sewer: Emily Fisher
Other: N/A	DOT: Mike Carlson
Subject Property Information	
Address/Location	North of Eglin Street and Luna Avenue
Neighborhood	North Rapid
Subdivision	S30, T2N, R8E
Land Area	0.85 acres or 36,945 square feet
Existing Building	Vacant
Topography	Varies
Access	Eglin Street
Water / Sewer	Rapid City
Electric/Gas Provider	BHE / MDU

Subject Property and Adjacent Property Designations
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	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	GC - PD	MUC	Vacant
Adjacent North	IL - PD	MUC	Vacant
Adjacent South	GC - PD	MUC	Retail store Hotel
Adjacent East	GC - PD	MUC	Retail Store Sam's Club
Adjacent West	GC	MUC	Vacant

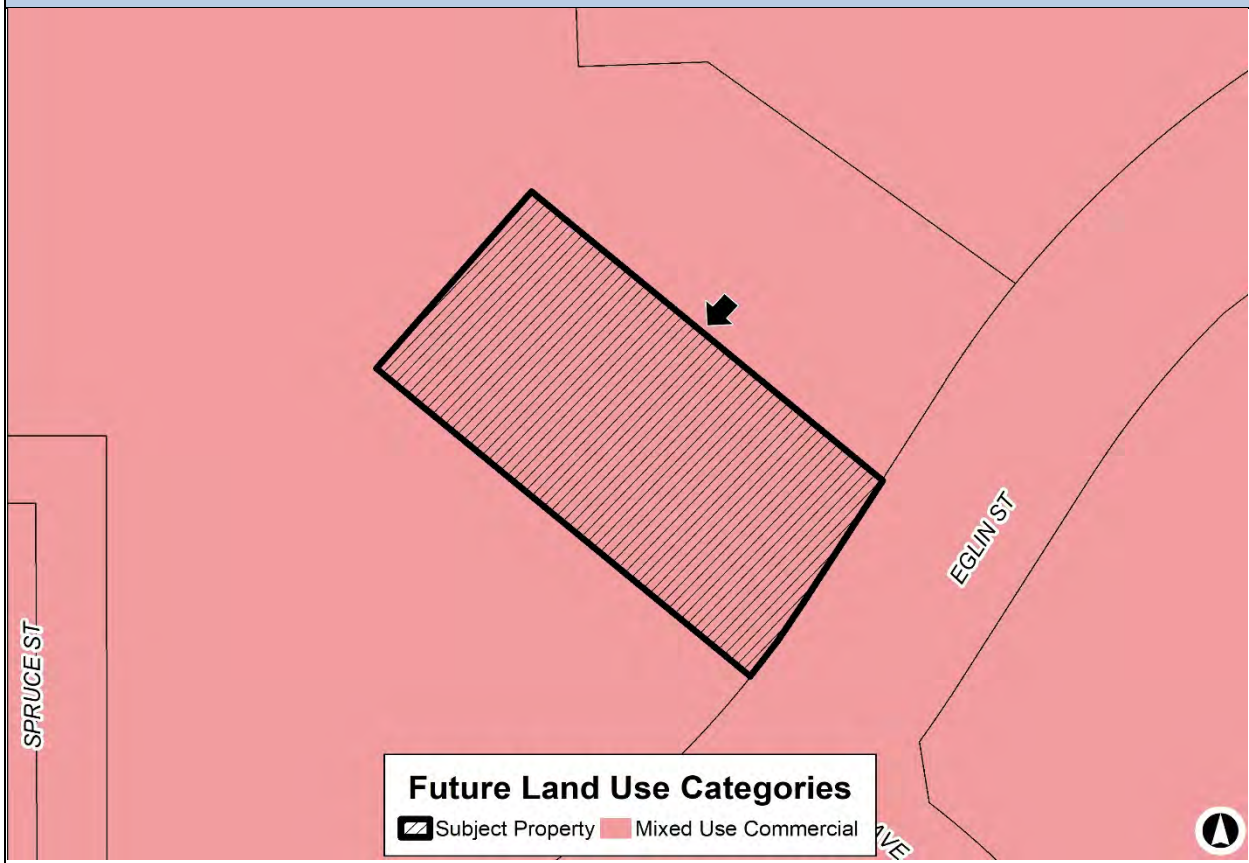
Zoning Map



Existing Land Uses



Comprehensive Plan Future Land Use



Parks or Transportation Plan



Relevant Case History			
Case/File#	Date	Request	Action
22PL092	09/19/2022	Preliminary Subdivision Plan	Approved with stipulations
07PD019	04/26/2007	Initial Planned Development Overlay	Approved with stipulations
Relevant Zoning District Regulations			
General Commercial District		Required	Proposed
Lot Area		No requirement	36,945 square feet
Lot Width		No requirement	137.6 feet
Maximum Building Heights		4 stories or 45 feet	1 story or 22.4 feet
Maximum Density		75%	10%
Minimum Building Setback:			
• SE Front		25 feet	91.2 feet
• NW Rear		0 feet	10.1 feet
• NE Side		0 feet	102.5 feet
• SW Side		0 feet	75.6 feet
Minimum Landscape Requirements:			
• # of landscape points		33,405	33,450
• # of landscape islands		None	None
Minimum Parking Requirements:			
• # of parking spaces		16	37
• # of ADA spaces		2	2
Signage		As per RCMC 17.50.100	Monument & Wall-mounted
Fencing		As per RCMC 17.50.150	Dumpster enclosure








Planning Commission Criteria and Findings for Approval or Denial	
Pursuant to Section 17.50.050(F)5 of the Rapid City Municipal Code the Planning Commission shall consider the following criteria for a Final Planned Development Overlay:	
Criteria	Findings
1. There are certain conditions pertaining to the particular piece of property in question because of its size, shape, or topography:	There are no unique conditions in question due to the size, shape, or topography.
2. The application of these regulations to this particular piece of property would create a practical difficulty or undue hardship:	The Planned Development Overlay allows the City to review the compatibility of the proposed land use with adjacent development. City staff has not identified any unique hardships or practical difficulties in meeting the regulations with this property.
3. Exceptions to the underlying zoning district, if granted, would not cause undue hardship to the public good or impair the purposes and intent of these regulations:	No Exceptions are being requested as part of this Planned Development Overlay.
4. A literal interpretation of this chapter would deprive the applicant of rights that others in the same district are allowed:	A review of the proposed project through a Planned Development Overlay serves as a land-use tool to review the compatibility of the project with surrounding land uses. The Planned Development process to allow a commercial building on the property does not deprive the applicant of the rights that others in the same district are allowed.

<p>5. Any adverse impacts will be reasonably mitigated:</p>	<p>The stipulations of approval of the Planned Development Overlay will serve to reasonably mitigate any adverse impacts.</p> <p><u>Building:</u> The proposed building is located on the eastern portion of the lot and is 3,540 square feet in size and 22.4 feet in height. The exterior will be finished with a combination of brick veneer, glazed subway tile, fiber cement panel, and prefinished metal coping.</p> <p><u>Parking:</u> The proposed development is parked at a rate of 4.5 spaces per 1,000 square-foot gross floor area and therefore requires that a minimum of 16 parking spaces be provided. The applicant's site plan identifies that 37 parking spaces and two accessible spaces have been provided and are designed in compliance with the City's Parking Regulations. The provided parking is located to the north, west, and south of the building.</p> <p><u>Landscaping:</u> The proposed development requires that a minimum of 33,405 landscaping points be provided. The applicant's landscaping plan identifies that 33,450 landscaping points are being provided by 820 square yards of grass, 75 shrubs, three small trees, one medium tree, and two large trees. The dumpster enclosure is located on the northwest corner of the proposed lot and is screened by a 6.5-foot tall metal gate and a 7.8-foot tall block wall. The landscaping is designed in compliance with the City's Landscaping Regulations.</p> <p><u>Signage:</u> The applicant's site plan identifies that an internally lit monument sign will be located on the southwest corner of the lot. The sign will be six feet tall and will consist of brick veneer, nichiha architectural board, prefinished metal coping and a removable sign panel. A wall-mounted sign will be located on the northeast, southeast, and southwest walls of the building. All signage must continually conform to the Sign Code. Lighting for the signs shall be designed to preclude shining on the adjacent properties and/or street(s). A Sign Permit shall be obtained for each individual sign.</p>
<p>6. The requested Exception to the underlying zoning district standards is an alternative or innovative practice that reasonably achieves the objective of the existing standard sought to be modified:</p>	<p>The applicant should be apprised that a Preliminary Subdivision Plan was previously submitted for this property. The stipulations from this application identified that, the access and utility easement on the west side of the site is considered a commercial street and the requirements for this include 70 feet of right-of-way, 26 feet of pavement, curb, gutter, sidewalk, street light conduit, water, and sewer. The 70 feet of right-of-way shall be centered on the existing approach. The current proposal indicates a deviation from the above requirements. The access must be shown as constructed to these standards or an Exception must be obtained.</p> <p>The applicant should be apprised that the Initial Planned Development Overlay for Rushmore Crossing required all structures to have a Fire Sprinkler and Fire Alarm systems</p>

	installed. The applicant should ensure that the Water Service line size provides enough flow and volume for a Fire Sprinkler system to operate as required in NFPA 13.
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Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial

In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following values, principles, goals, and policies within the Rapid City Comprehensive Plan:

Comprehensive Plan Conformance – Core Values Chapters	
	A Balanced Pattern of Growth
N/A	
	A Vibrant, Livable Community
LC-5.1B:	Diverse Mix of Uses: The proposed commercial building is located within a diverse retail and service area of the city.
	A Safe, Healthy, Inclusive, and Skilled Community
N/A	
	Efficient Transportation and Infrastructure Systems
TI-2.1A	Major Street Plan Integration: The property is accessed by Eglin Street which is classified as a Collector Street on the City’s Major Street Plan.
	Economic Stability and Growth
N/A	
	Outstanding Recreational and Cultural Opportunities
	N/A
	Responsive, Accessible, and Effective Governance
GOV-2.1A	Public Input Opportunities: The proposed Final Planned Development requires that public notice be advertised in the newspaper and that mailings are sent to property owners within 250 feet of the proposed development. The requested Major Amendment to a Planned Development is before the Planning Commission for review and approval. The public has an opportunity to provide input at this meeting.

Comprehensive Plan Conformance – Growth and Reinvestment Chapter	
Future Land Use Plan Designation(s):	Mixed-Use Commercial
Design Standards:	
GDP-MU1	Relationship of Uses: The proposed development complements the surrounding land uses in the Rushmore Crossing Regional Activity Center.

Comprehensive Plan Conformance – Neighborhood Area Policies Chapter	
Neighborhood:	North Rapid
Neighborhood Goal/Policy:	

NR-NA.1A	Regional Activity Center: The proposed commercial building will complement the diverse retail and service uses at the Rushmore Crossing Regional Activity Center.
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Findings
Staff has reviewed the Final Planned Development Overlay to pursuant to Chapter 17.50.050(F)5 of the Rapid City Municipal Code and the goals, policies, and objectives of the adopted Comprehensive Plan.

Planning Commission Recommendation and Stipulations of Approval	
Staff recommends that the Final Planned Development to allow a commercial building be approved with the following stipulations:	
1.	Prior to the submittal of a Building Permit, the site plan shall be revised to accommodate the 70 feet of right-of-way for the adjacent street as required per the approved Preliminary Subdivision Plan or an Exception shall be obtained as per the Infrastructure Design Criteria Manual;
2.	Upon submittal of a Building Permit, the applicant shall provide a drainage report that addresses water quality and detention requirements;
3.	Upon approval of a Building Permit, the buildings shall be Fire Sprinkler Protected according to NFPA 13 and shall have a Monitored Fire Alarm System according to NFPA 72;
4.	A minimum of 16 parking spaces shall be provided, two of the spaces shall be ADA accessible and one shall be van accessible. Parking shall be designed in compliance with the City's Parking Regulations;
5.	A minimum of 33,405 landscaping points shall be provided. Landscaping shall be designed in compliance with the City's Landscaping Regulations;
6.	All signage shall continually conform to the Sign Code. Lighting for the signs shall be designed to preclude shining on the adjacent properties and/or street(s). A Sign Permit shall be obtained for each individual sign; and,
7.	The Final Planned Development Overlay shall allow for a commercial building. Any change in use or expansion of use permitted in the General Commercial District shall require the review and approval of a Building Permit. Any change in use or expansion of use that is a Conditional Use in the General Commercial District shall require the review and approval of a Major Amendment to the Planned Development Overlay.



Rapid City Community Planning & Development Services

Development Review Advisories

*Disclosure: The Development Review Team has created this list of Advisories as a courtesy for your specific application. **This is not a complete list.** All City, District, State, and Federal requirements must be continually met.*

Applicant Request(s)	
Case # 22PD047	Final Planned Development Overlay to allow a commercial building
Companion Case(s)	N/A
ADVISORIES: Please read carefully!	
1.	A Building Permit shall be obtained prior to any structural construction and a Certificate of Occupancy shall be obtained prior to occupancy;
2.	An Air Quality Construction Permit shall be obtained prior to any surface disturbance of one acre or more;
3.	All requirements of the Infrastructure Design Criteria Manual and the Rapid City Standard Specifications shall be met;
4.	All requirements of the currently adopted Building Code shall be met;
5.	ADA accessibility shall be provided throughout the structure and site as necessary;
6.	All construction plans shall be signed and stamped by a registered professional pursuant to South Dakota Codified Law 36-16A;
7.	All provisions of the underlying zoning districts shall be met unless otherwise specifically authorized as a stipulation of this Initial Planned Development Overlay or a subsequent Amendment;
8.	All outdoor lighting shall continually be reflected within the property boundaries so as to not shine onto adjoining properties and rights-of-way and to not be a hazard to the passing motorist or constitute a nuisance of any kind; and,
9.	All applicable provisions of the adopted International Fire Code shall continually be met.