

Case No. 22PD047

Legal Description:

A portion of the unplatted balance of the N1/2 of the SE1/4, lying south of Interstate 90 Right-of-Way, and lying north of Eglin Street Right-of-Way, Section 30, T2N, R8E, BHM, City of Rapid City, Pennington County, South Dakota, more fully described as follows: Commencing at the southwesterly corner of Lot 1 in Block 1 of Rushmore Crossing, common to a point the northerly edge of Eglin Street right-of-way, thence, along the northerly edge of said Eglin Street right-of-way, on a curve with a radius of 650.00 feet, a delta angle of 6°16'24", a length of 71.17 feet, a chord bearing of S 37°20'30" W, and chord distance of 71.13 feet, thence, S 34°10'51" W, along the northerly edge of said Eglin Street right-of-way, a distance of 76.06 feet to the point of beginning; Thence, first course: S 34°10'51" W, along the northerly edge of said Eglin Street right-of-way, a distance of 85.14 feet; Thence, second course: along the northerly edge of said Eglin Street right-of-way, on a curve with a radius of 550.00 feet, a delta angle of 5°26'20", a length of 52.21 feet, a chord bearing of S 36°55'53" W, and chord distance of 52.19 feet; Thence, third course: N 47°39'17" W, a distance of 279.01 feet; Thence, fourth course: N 42°20'49" E, a distance of 136.23 feet; Thence, fifth course: S 47°39'17" E, a distance of 262.00 feet, to the said point of beginning



MIDLAND ATLANTIC
PROPERTIES

8044 Montgomery Road, Suite 370
Cincinnati, OH 45236
Phone 513-792-5000 • Fax 513-792-5010

Cincinnati
Indianapolis

September 26, 2022

Jason Ohlsen
Renner Associates, LLC
3231 Teewinot Drive
Rapid City, SD 57703

RE: Written Statement Describing the Proposed Use

Dear Jason:

Pursuant to the application requirement of the Department of Community Development of Rapid City for a Final Planned Development submittal, below is the information describing the intended use for CPP Rushmore II, LLC proposed project.

- a. Name of User – Chapter Aesthetic Studio
- b. Description of User - Chapter is leading aesthetic studio offering a range of evidenced-based, non-surgical and cosmetic procedures, including injectables such as BOTOX® Cosmetic and JUVEDERM®, laser skin treatments, and body treatments including CoolSculpting® and CoolTone®.
- c. For more information, please visit the company website at <https://www.mychapter.com/about-chapter>

We are excited about the prospect of adding Chapter Aesthetic Studio to the community of Rapid City and thank the city, staff and planning commission members for their time.

Sincerely,

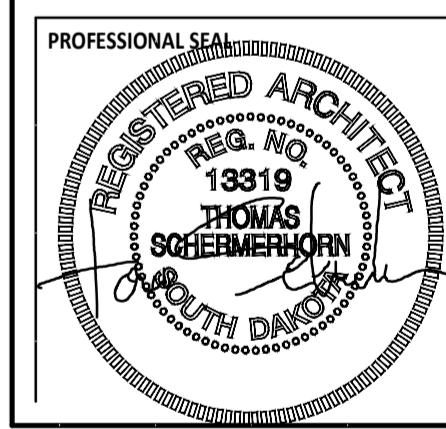
Clayton Riney
Development Manager
Midland Atlantic Properties
A representative for **CPP Rushmore II, LLC**

SEP 30 2022

RAPID CITY DEPARTMENT OF
COMMUNITY DEVELOPMENT

PROJECT INFORMATION

PROPOSED CHAPTER AESTHETIC STUDIO DEVELOPMENT FOR:
MIDLAND ATLANTIC
908 EGLIN ST • RAPID CITY, SD 57701



SHEET DATES

SHEET ISSUE SEPT. 15, 2022

REVISIONS

NO.	DESCRIPTION

JOB NUMBER

2239540

SHEET NUMBER

A2.0

EXTERIOR SIGNAGE

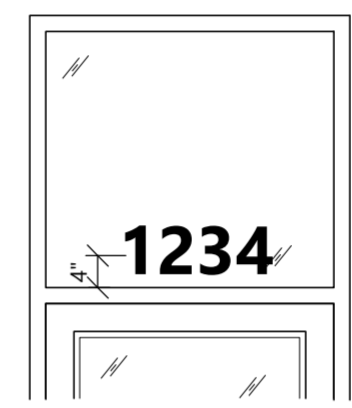
- PROVIDE ADDITIONAL BLOCKING OR STUD EXTENDER BEHIND SIGNAGE WHEN STUD IS NOT AVAILABLE
- COORDINATE SIGNAGE LOCATION w/ SIGNAGE SUPPLIER.
- ALUM. CANOPY DESIGN AND CONNECTIONS BY VENDOR - SEE EXTERIOR FINISH KEY FOR FINISH

CONTROL JOINTS

- 'CJ' INDICATES THE LOCATION OF A MASONRY CONTROL / EXPANSION JOINT
- ALL MASONRY CONTROL JOINTS SHOWN AT CORNER CONDITIONS TO BE AT INSIDE CORNER

TYPICAL BACK OF PARAPET

AT PARAPETS:
1. ROOF MEMBRANE TO RUN CONTINUOUS OVER TOP OF PARAPET (SEE DETAILS)

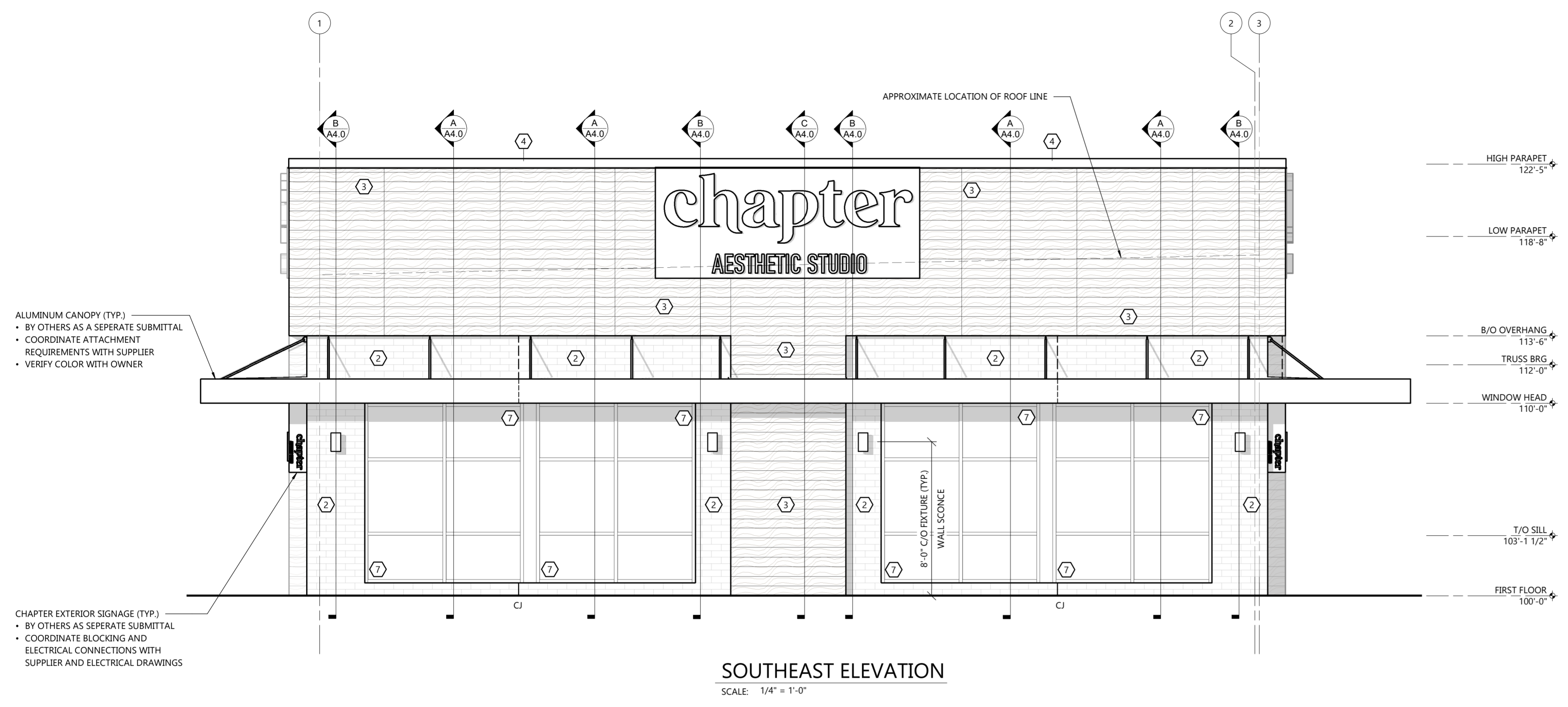


VINYL ADDRESS LETTERING
-COLOR, SIZE, AND TEXT STYLE TO MEET ALL STATE AND LOCAL CODES

1 ADDRESS DETAIL
A2.0 NOT TO SCALE

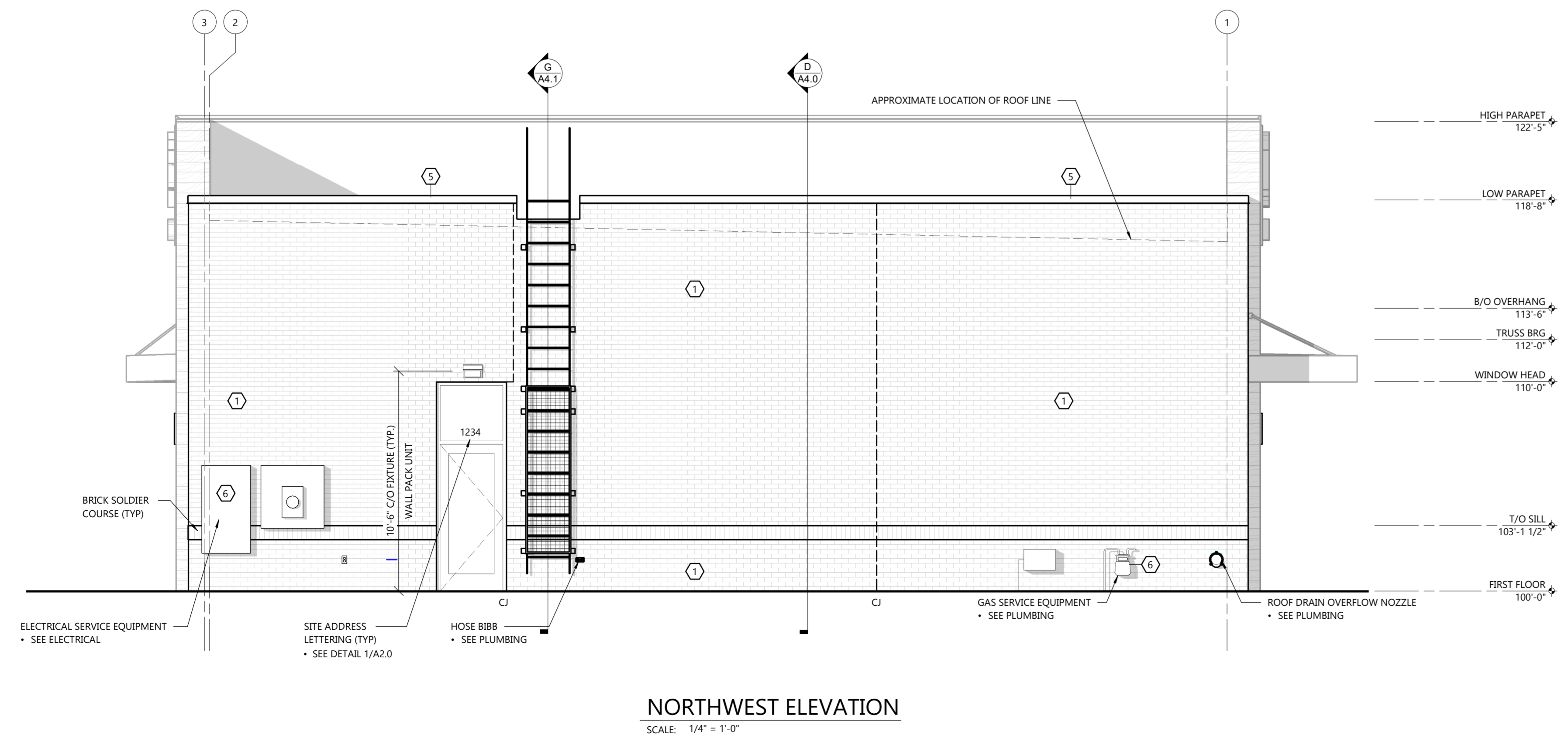
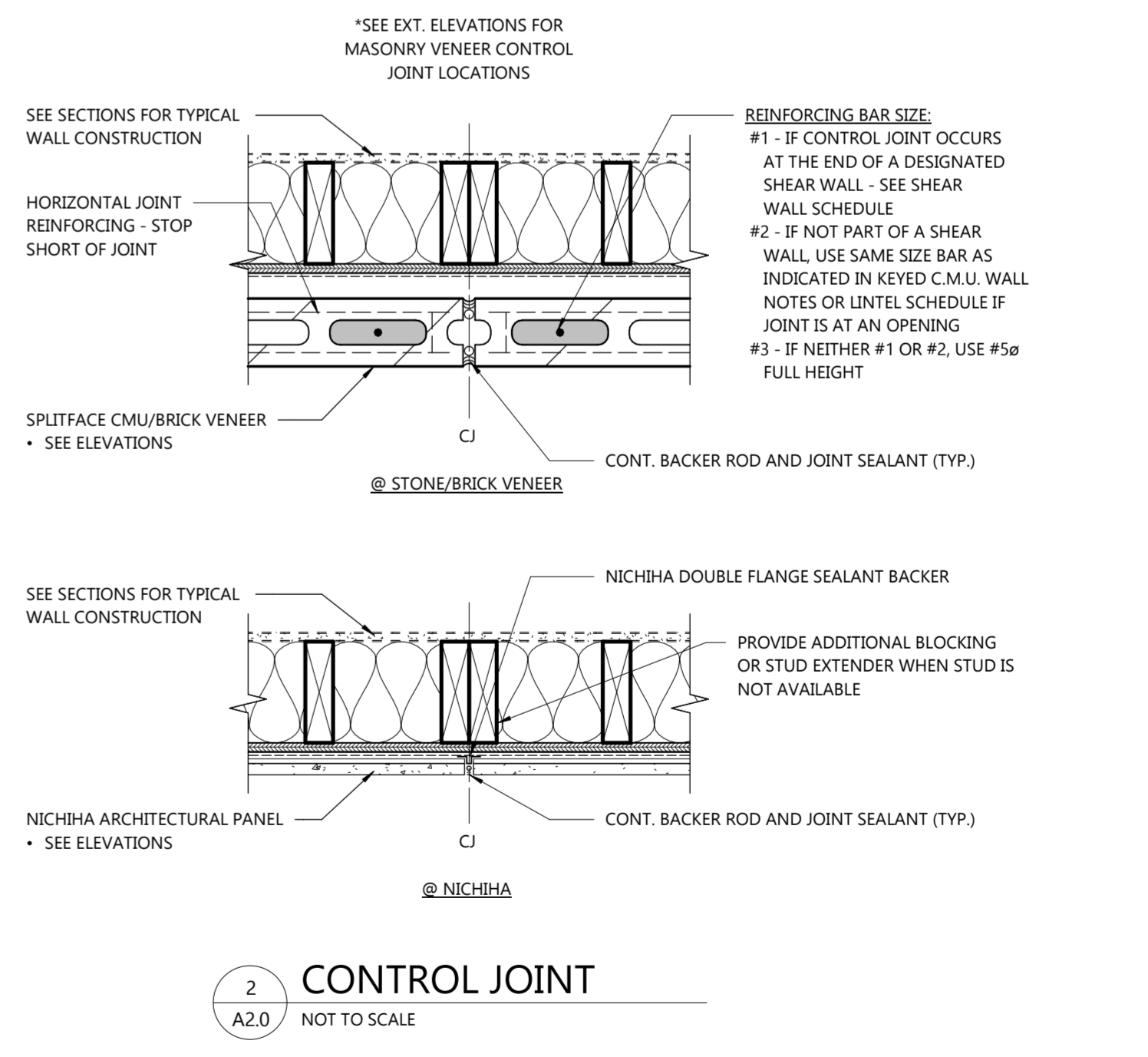
EXTERIOR FINISH KEY

- 8 THERMALLY BROKEN ALUMINUM FRAME W/ INSULATED SPANDREL GLAZING
• SEE A6 SHEET(S)
• CONFIRM FINAL LOCATIONS w/ TENANT INTERIOR DOCUMENTS PRIOR TO ORDERING
- 7 THERMALLY BROKEN ALUMINUM FRAME w/ INSULATED GLAZING
• SEE A6 SHEET(S)
- 6 PAINT
COLOR: PAINT TO MATCH BRICK
- 5 PREFINISHED METAL COPING
MFR: FIRESTONE UNA-CLAD
COLOR: STONE WHITE
- 4 PREFINISHED METAL COPING
MFR: FIRESTONE UNA-CLAD
COLOR: SIERRA TAN
- 3 FIBER CEMENT PANEL
MFR: NICHHA
STYLE: VINTAGE WOOD
COLOR: SPRUCE
- 2 GLAZED SUBWAY TILE
CROSSVILLE RETRO ACTIVE
ROYAL NAVY 4"x12"
GROUT: WHITE
- 1 BRICK VENEER
MFR: BELDEN BRICK
COLOR: ALASKAN WHITE VELOUR (OR APPROVED EQUIVALENT)
MORTAR: WHITE



- ALUMINUM CANOPY (TYP.)
• BY OTHERS AS A SEPERATE SUBMITTAL
• COORDINATE ATTACHMENT REQUIREMENTS WITH SUPPLIER
• VERIFY COLOR WITH OWNER

- CHAPTER EXTERIOR SIGNAGE (TYP.)
• BY OTHERS AS SEPERATE SUBMITTAL
• COORDINATE BLOCKING AND ELECTRICAL CONNECTIONS WITH SUPPLIER AND ELECTRICAL DRAWINGS



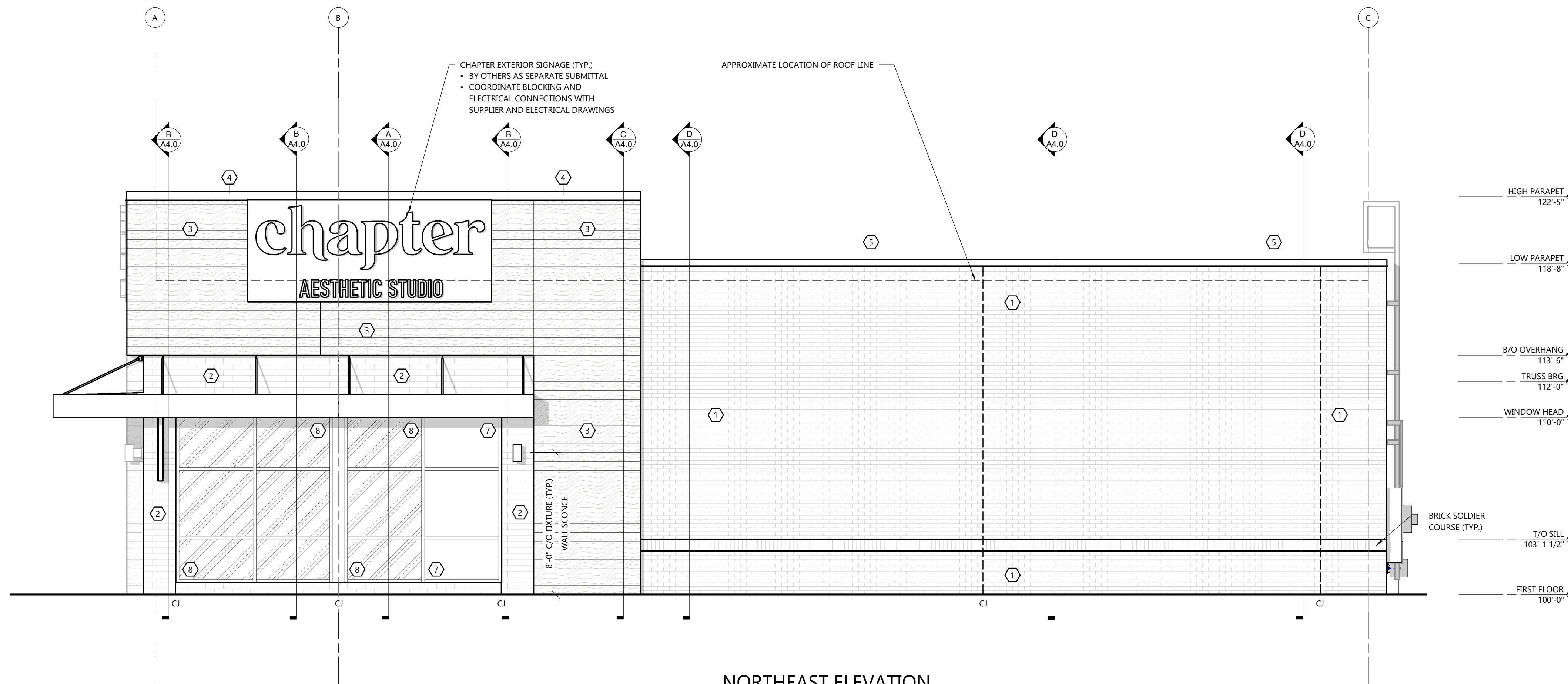
- ELECTRICAL SERVICE EQUIPMENT
• SEE ELECTRICAL

- SITE ADDRESS LETTERING (TYP.)
• SEE DETAIL 1/A2.0

- HOSE BIBB
• SEE PLUMBING

- GAS SERVICE EQUIPMENT
• SEE PLUMBING

- ROOF DRAIN OVERFLOW NOZZLE
• SEE PLUMBING



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY

	THERMALLY BROKEN ALUMINUM FRAME W/ INSULATED SPANDREL GLAZING • SEE A6 SHEET(S) • CONFIRM FINAL LOCATIONS w/ TENANT INTERIOR DOCUMENTS PRIOR TO ORDERING
	THERMALLY BROKEN ALUMINUM FRAME w/ INSULATED GLAZING • SEE A6 SHEET(S)
	PAINT COLOR: PAINT TO MATCH BRICK
	PREFINISHED METAL COPING MFR: FIRESTONE UNA-CLAD COLOR: STONE WHITE
	PREFINISHED METAL COPING MFR: FIRESTONE UNA-CLAD COLOR: SIERRA TAN
	FIBER CEMENT PANEL MFR: NICHHA STYLE: VINTAGE WOOD COLOR: SPRUCE
	GLAZED SUBWAY TILE CROSSVILLE RETRO ACTIVE ROYAL NAVY 4"x12" GROUT: WHITE
	BRICK VENEER MFR: BELDEN BRICK COLOR: ALASKAN WHITE VELOUR (OR APPROVED EQUIVALENT) MORTAR: WHITE

EXTERIOR SIGNAGE

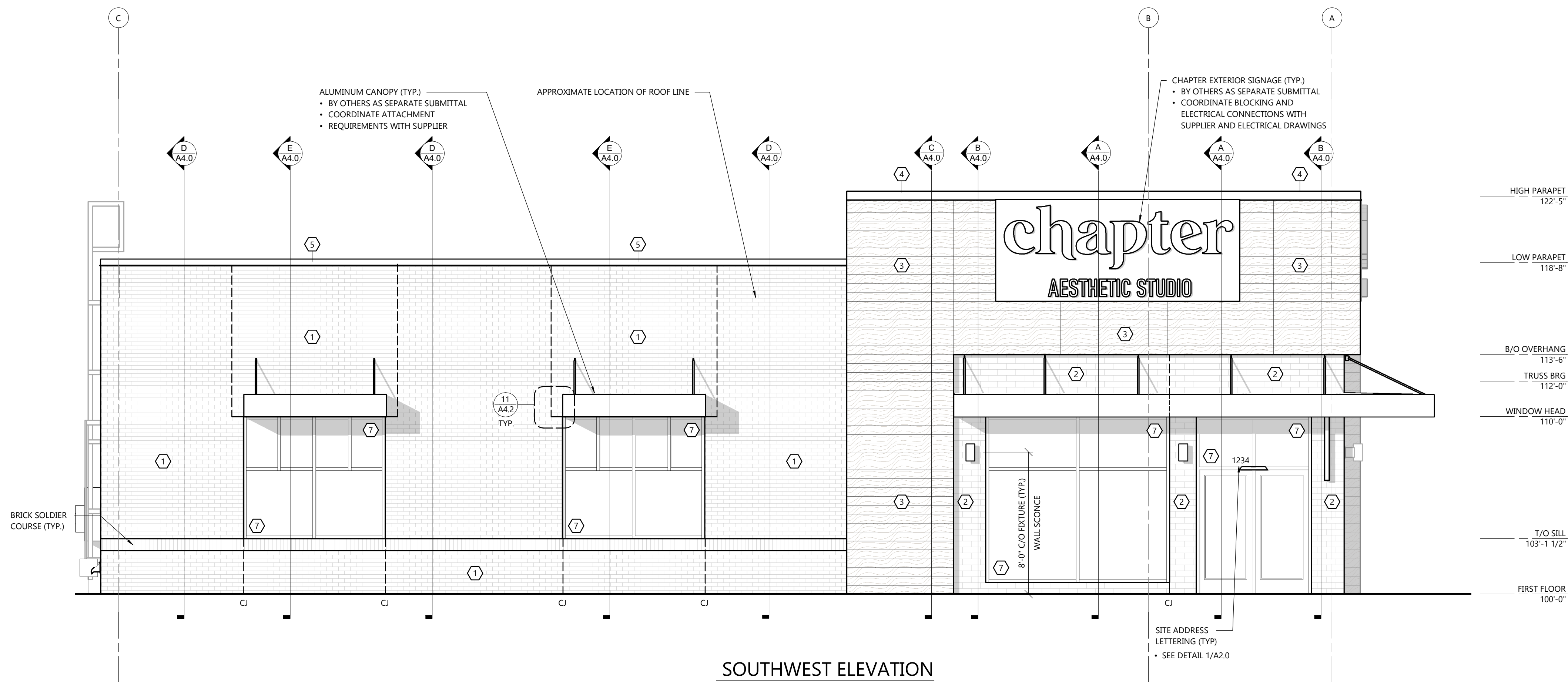
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SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

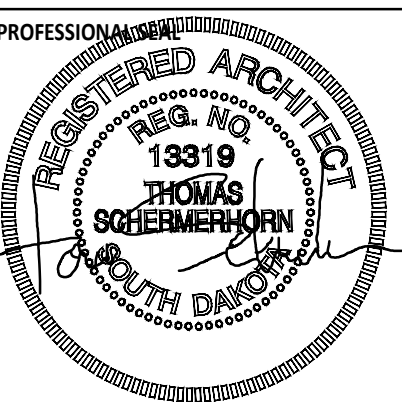


Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED CHAPTER AESTHETIC STUDIO DEVELOPMENT FOR:
MIDLAND ATLANTIC
908 EGLIN ST • RAPID CITY, SD 57701



SHEET DATES

SHEET ISSUE SEPT. 15, 2022

REVISIONS

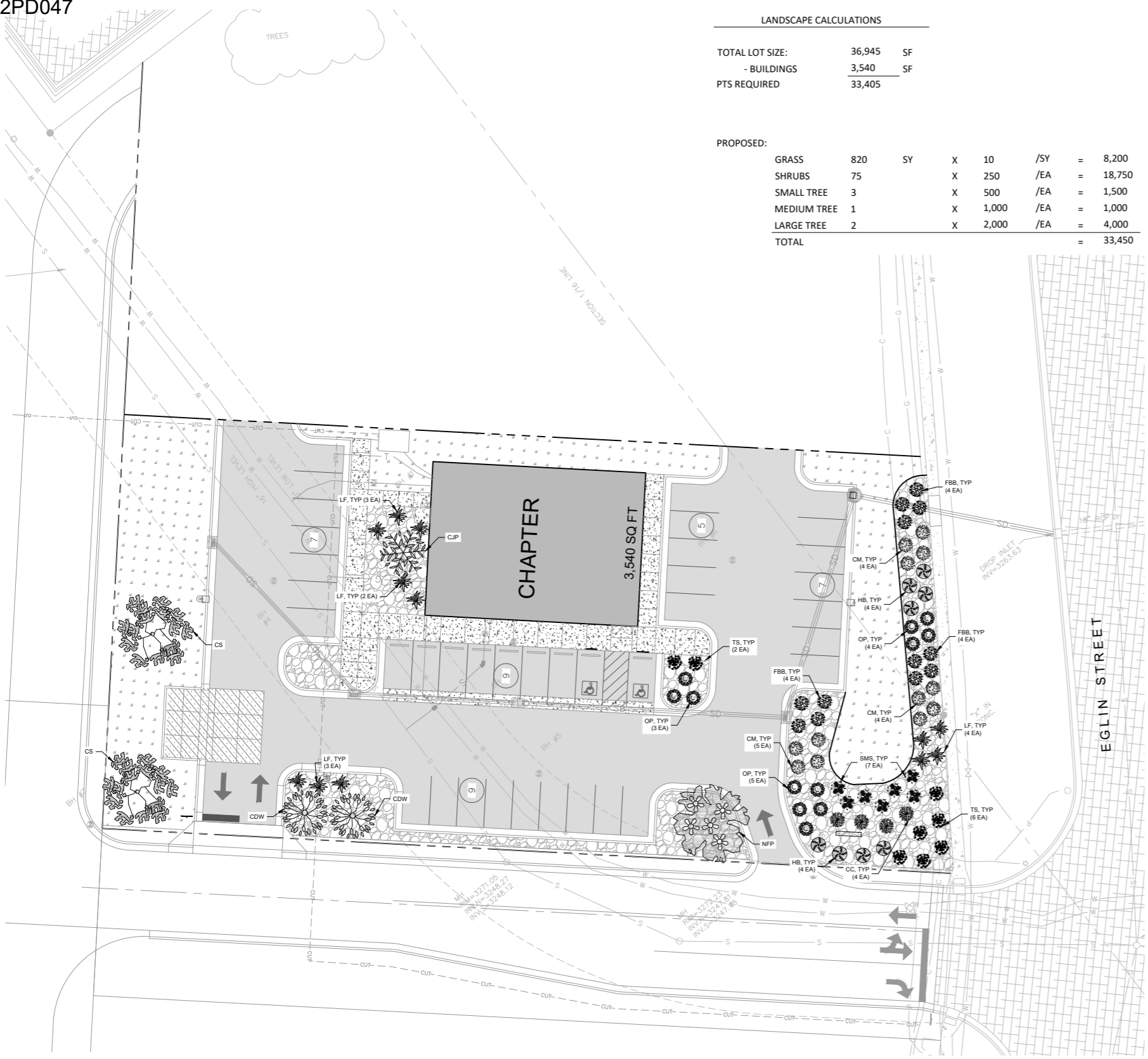
NO.	DESCRIPTION

JOB NUMBER

2239540

SHEET NUMBER

A2.1



LANDSCAPE CALCULATIONS

TOTAL LOT SIZE:	36,945	SF			
- BUILDINGS	3,540	SF			
PTS REQUIRED	33,405				

PROPOSED:

GRASS	820	SY	X	10	/SY	=	8,200
SHRUBS	75		X	250	/EA	=	18,750
SMALL TREE	3		X	500	/EA	=	1,500
MEDIUM TREE	1		X	1,000	/EA	=	1,000
LARGE TREE	2		X	2,000	/EA	=	4,000
TOTAL						=	33,450

NOTE:
LANDSCAPE CONTRACTOR SHALL PROVIDE DESIGN OF IRRIGATION DISTRIBUTION SYSTEM FOR APPROVAL PRIOR TO START OF WORK.

CONTRACTOR SHALL COORDINATE W/MECHANICAL ON IRRIGATION CONNECTION & LOCATION OF CONTROLS.

LEGEND

	SOD	(820 SY)
	4" OF 4" MINUS SLATE ROCK MULCH WITH FILTER FABRIC	(640 SY)
	LANDSCAPE EDGING	(158 LF)

SYM	COMMON NAME	QTY
LARGE TREES (MIN. MATURE SPREAD 45' W/EXCEPTION OF EVERGREENS)		
CS	COLORADO BLUE SPRUCE(MATURE SPREAD 20')	(2)
MEDIUM TREES (MIN. MATURE SPREAD 25')		
NFP	NEWPORT FLOWERING PLUM	(1)
SMALL TREES (MIN. MATURE SPREAD 15')		
CDW	CHINESE DOGWOOD	(2)
CPJ	CRIMSON PRINCE JAPANESE MAPLE	(1)
SHRUBS (MIN. MATURE HEIGHT OF 2')		
FBB	FIRE BALL BURNING BUSH	(12)
SMS	SMOOTH SUMAC	(7)
PERENNIALS		
CC	CANADA COLUMBINE	(4)
CM	CALAMINT	(12)
HB	HEARTLEAF BUGLOSS	(8)
LF	LADY FERN	(12)
OP	ORIENTAL POPPY	(12)
TS	TICKSEED	(8)

IRRIGATION SYSTEM:
ALL IRRIGATION LINES AND CONTROL WIRES LOCATED UNDERNEATH PAVED SURFACES ARE TO BE SLEEVED IN 2" SCHEDULE 40 PVC

IRRIGATION MAIN LINE IS 1" IN SIZE.

IRRIGATION

- IRRIGATION CONTRACTOR SHALL PROVIDE OPERATION MANUALS & INSTRUCTIONS TO OWNER UPON COMPLETION OF PROJECT.
- IF CONTRACTOR CHOOSES TO PROVIDE ALTERNATE LAYOUT AND DESIGN OF SYSTEM THEY SHALL PROVIDE REVISED LAYOUT & SPECIFICATIONS ALONG WITH OPERATING MANUAL TO ENGINEER PRIOR TO APPROVAL.

- CONTRACTOR TO GUARANTEE OPERATION FOR A 1 YEAR WARRANTY PERIOD UPON HAND OFF TO OWNER. PRIOR TO HAND OFF TO OWNER CONTRACTOR SHALL TEST AND RUN SYSTEM AND ENSURE OPERATION.
- CONTRACTOR SHALL SET A SEASONAL WATERING SCHEDULE BASED ON AN EVERY OTHER DAY WATERING CYCLE.
- CONDUIT IS TO BE BURIED A MIN. OF 18" IN DEPTH.
- LANDSCAPE CONTRACTOR TO PROVIDE SITE LAYOUT OR IRRIGATION PLAN FOR APPROVAL BY ENGINEER. ALL PLANTING AND SOD AREAS TO RECEIVE IRRIGATION.
- IRRIGATION SYSTEM SHALL USE RAINBIRD CONTROLS AND IRRIGATION HEADS. IRRIGATIONS HEADS SHALL BE PRS FAN SPRAY HEADS.

PLANTING NOTES:

- ALL PLANTS TO BE OBTAINED FROM A CERTIFIED NURSERY.
- QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES FOR 90 DAYS. TREES SHALL BE WARRANTED FOR 1 YEAR.

ALL DISTURBED AREAS:
ALL DISTURBED AREAS NOT HARD-SURFACED TO RECEIVE 4" OF TOPSOIL AND FERTILIZED, SEEDED, AND HYDRO-MULCHED.
HYDRO-MULCH: BONDED FIBER MATRIX (CONWED FIBERS 2500 BFM BY PROFILE PRODUCTS, LLC.) AT 100% COVERAGE. REMOVE WATTLES AFTER VEGETATION IS ESTABLISHED.

Designed By: ILG
Drawn By: JRO/KDD
Design Date: 9/2022
Print Date: 9/29/2022
Surveyed By: NR, CE
Survey Date: 6/2022

Version	Date	Description
1		FINAL PD

CHAPTER MEDICAL AESTHETIC CLINIC
908 EGLIN STREET
LOCATED IN SECTION 30, T2N, R8E, BHM,
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA 57701

Prepared For:
C/P RUSHMORE II, LLC
C/O MIDLAND ATLANTIC
ATTN: DAVID WOOKE
8044 MONTGOMERY ROAD
SUITE 370
CINCINNATI, OH 45236

Internal Job No:
2613.17

Sheet Title:
LANDSCAPE PLAN