

Case No. 20PD024

**Legal Description:**

Lot 2 of Block 2 of Fifth Street Office Plaza Subdivision, located in Section 24, T1N, R7E, BHM, Rapid City, Pennington County, South Dakota

6/25/20

J. M. Kingsbury Family Brewing Co.

### Application for Conditional Use Permit

A written statement describing the proposed or intended use.

4905 5th Street, Suite 103's intended use is for a small taproom-style brewery. Beer will be brewed on site in a 5-barrel electric brewhouse. Greater than 90% of production will be served through the taproom. On-campus beers will be served in 4oz, 8oz and 16oz quantities. The brewery will also have a small canning line and offer "to go" sales. "To go" beer will be sold in four- or six-packs of 12oz sealed cans over the counter, as well as through a drive thru window. At maximum, production from the brewery will not exceed 1000-1200 barrels of beer per year. There will not be food preparation or sales in the building.

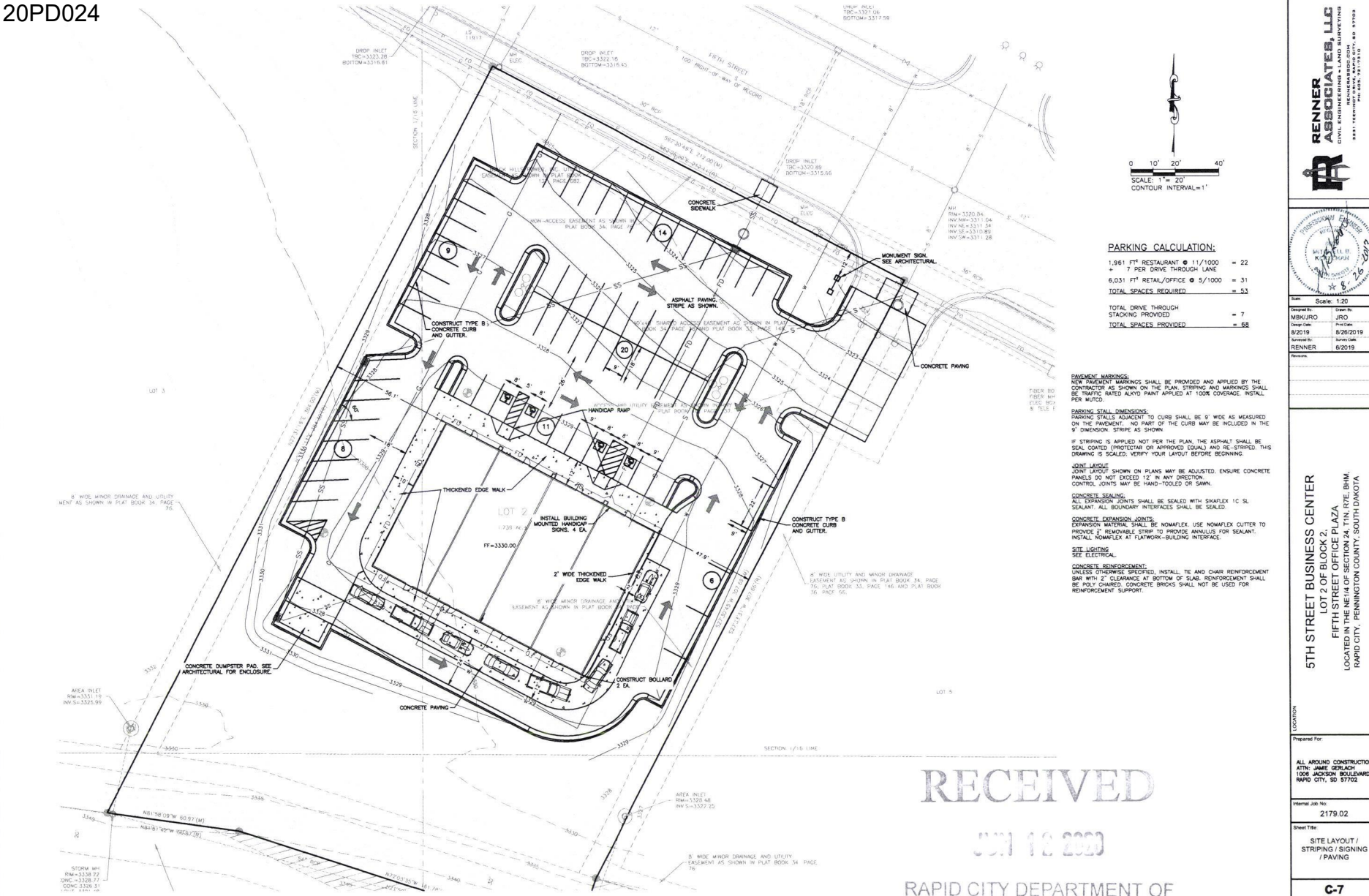
Hours of operation will be adjusted as demand grows, and as COVID guidelines allow. The first year hours are to be set at 1500-1900 Monday/Tuesday/Wednesday for "to go" sales only, 1200-2100 Thursday for "to go" and taproom sales, 1200-2300 Friday/Saturday for "to go" and taproom sales, 1200-1800 Sunday for "to go" and taproom sales.

It will not be uncommon for the brewery to be frequented by greater than 20 guests at one time. When fully staffed, employees will be trained to handle greater than 50 patrons. All sales are to be done via bar service only.

The brewery will open with 5-7 staff members, of which 2-3 will be on site during business hours. 1-2 staff members will frequent the brewery during non-business hours for brewing, cellaring, and cleaning.

It is anticipated to have one large delivery every 1-2 weeks. This delivery will be scheduled on Monday - Wednesday before 1500. There will be smaller postal-style deliveries almost daily. Large deliveries will be accepted at the back of the building.

Concerning COVID, staff will follow current CDC guidelines regarding cleaning and customer contact. With the availability of a large space, the taproom will have the ability to continue social distancing as advised.



**PARKING CALCULATION:**

1,961 FT <sup>2</sup> RESTAURANT @ 11/1000	= 22
+ 7 PER DRIVE THROUGH LANE	= 7
6,031 FT <sup>2</sup> RETAIL/OFFICE @ 5/1000	= 31
<b>TOTAL SPACES REQUIRED</b>	<b>= 53</b>
<b>TOTAL DRIVE THROUGH STACKING PROVIDED</b>	<b>= 7</b>
<b>TOTAL SPACES PROVIDED</b>	<b>= 68</b>

**PAVEMENT MARKINGS:**  
NEW PAVEMENT MARKINGS SHALL BE PROVIDED AND APPLIED BY THE CONTRACTOR AS SHOWN ON THE PLAN. STRIPING AND MARKINGS SHALL BE TRAFFIC RATED ALKOYD PAINT APPLIED AT 100% COVERAGE. INSTALL PER MUTCD.

**PARKING STALL DIMENSIONS:**  
PARKING STALLS ADJACENT TO CURB SHALL BE 9' WIDE AS MEASURED ON THE PAVEMENT. NO PART OF THE CURB MAY BE INCLUDED IN THE 9' DIMENSION. STRIPE AS SHOWN.

**IF STRIPING IS APPLIED NOT PER THE PLAN, THE ASPHALT SHALL BE SEAL COATED (PROTECTANT OR APPROVED SOLAL) AND RE-STRIPED. THIS DRAWING IS SCALED. VERIFY YOUR LAYOUT BEFORE BEGINNING.**

**JOINT LAYOUT:**  
JOINT LAYOUT SHOWN ON PLANS MAY BE ADJUSTED. ENSURE CONCRETE PANELS DO NOT EXCEED 12' IN ANY DIRECTION. CONTROL JOINTS MAY BE HAND-TOOLED OR SAWN.

**CONCRETE SEALING:**  
ALL EXPANSION JOINTS SHALL BE SEALED WITH SHARLEX 1C SL SEALANT. ALL BOUNDARY INTERFACES SHALL BE SEALED.

**CONCRETE EXPANSION JOINTS:**  
EXPANSION MATERIAL SHALL BE NOMAFLEX. USE NOMAFLEX CUTTER TO PROVIDE 2" REMOVABLE GROUT TO PROVIDE ANNULUS FOR SEALANT. INSTALL NOMAFLEX AT FLATWORK-BUILDING INTERFACE.

**SITE LIGHTING:**  
SEE ELECTRICAL.

**CONCRETE REINFORCEMENT:**  
UNLESS OTHERWISE SPECIFIED, INSTALL, TIE AND CHAIR REINFORCEMENT BARS WITH 2" CLEARANCE AT BOTTOM OF SLAB. REINFORCEMENT SHALL BE POLY CHAIR. CONCRETE BRICKS SHALL NOT BE USED FOR REINFORCEMENT SUPPORT.

**RENNER ASSOCIATES, LLC**  
CIVIL ENGINEERING, LAND SURVEYING  
2341 FORTY-NINTH AVENUE, SUITE 200  
RAPID CITY, SOUTH DAKOTA 57702

Scale: 1:20

Prepared By:	DRD
Checked By:	JRO
Design Date:	5/26/2019
Reviewed By:	RENNER
Revision:	6/20/19

**5TH STREET BUSINESS CENTER**  
**LOT 2 OF BLOCK 2**  
**FIFTH STREET OFFICE PLAZA**  
LOCATED IN THE NE 1/4 OF SECTION 24, T1N, R7E, B1M  
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA

LOCATION:

Prepared For:

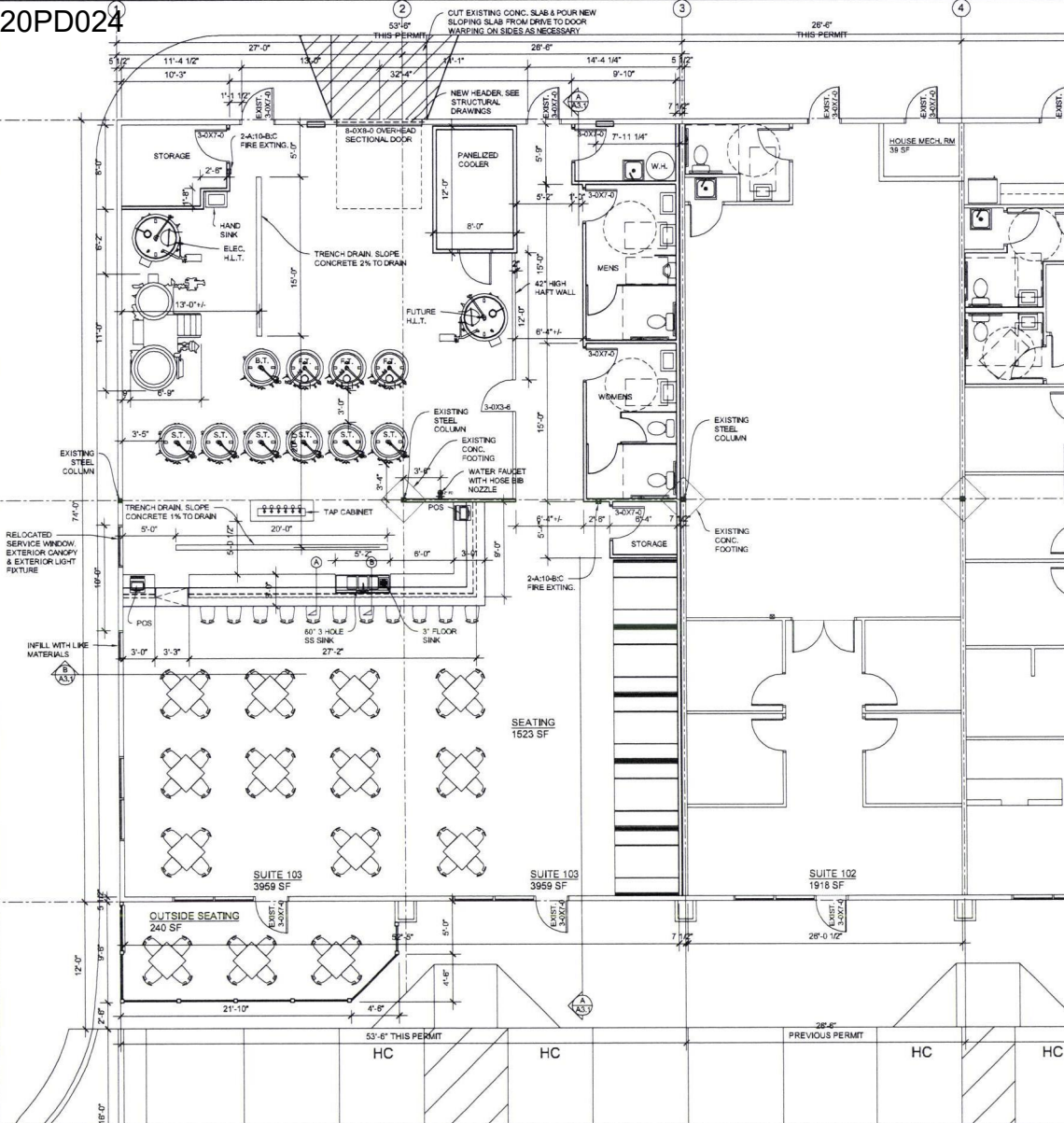
ALL AROUND CONSTRUCTION  
ATTN: JAMES GEBLACH  
1008 JACKSON BOULEVARD  
RAPID CITY, SD 57702

Sheet Title:  
**SITE LAYOUT / STRIPING / SIGNING / PAVING**

Sheet No.: 2179.02

**C-7**

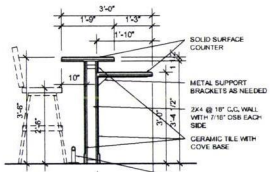
**RECEIVED**  
**JUN 18 2020**  
**RAPID CITY DEPARTMENT OF COMMUNITY DEVELOPMENT**



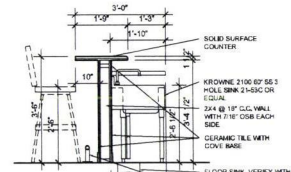
RECEIVED

2021 1 28 2020

RAPID CITY DEPARTMENT OF COMMUNITY DEVELOPMENT



SECTION A  
SCALE: 1/2" = 1'-0"



SECTION B  
SCALE: 1/2" = 1'-0"

SUITE 103 FLOOR PLAN  
SCALE: 3/16" = 1'-0"



Revisions	
NO.	DESCRIPTION



Henriksen, Inc.  
526 Saint Joseph Street, Suite A  
Rapid City, South Dakota 57701  
Phone (605) 394-0189  
henrikseninc@midcomnetwork.com

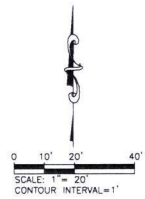


Suite 103 Tenant Infill Floor Plan  
Tenant Infill To B.H. Realty 5th St. Business Ctr.,  
Suite 102, 4905 5th St., Rapid City, SD



**A1.1**  
Drawing Number  
SHEET DATE: 8.11.2020










**LANDSCAPE CALCULATIONS:**

TOTAL LOT SIZE	=	75,790 SF
- BUILDINGS	=	7,992 SF
PTS REQUIRED	=	67,798
<b>PROPOSED:</b>		
GRASS	=	3,300 SF X 10/5Y = 33,000
SHRUBS	=	32 X 250/EA = 8,000
SMALL TREE	=	2 X 500/EA = 1,000
MEDIUM TREE	=	1 X 1,000/EA = 1,000
LARGE TREE	=	9 X 2,000/EA = 18,000
TOTAL PTS PROVIDED	=	68,000

**LEGEND**

-  GRASS
-  SHRUB (MINIMUM MATURE HEIGHT OF 2')
-  SMALL TREE (MINIMUM MATURE SPREAD OF 15')
-  MEDIUM TREE (MINIMUM MATURE SPREAD OF 25')
-  LARGE TREE (MINIMUM MATURE SPREAD OF 45', ALSO EVERGREEN TREES WHICH REACH A MATURE HEIGHT OF AT LEAST 20')

**IRRIGATION NOTE:**

CONTRACTOR RESPONSIBLE FOR DESIGN AND INSTALLATION OF IRRIGATION SYSTEM AND SLEEVES.



Project No.	20PD024
Client	MBKURO JRO
Prep Date	8/29/2019
Issue Date	8/29/2019
Scale	1:20
Drawn By	RENNER
Checked By	

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 LOT 2 OF BLOCK 2,  
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 RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA

Location	
Prepared For	
Internal Job No	2179.02
Sheet Title	LANDSCAPE PLAN
Scale	C-8

**RECEIVED**

JUN 10 2020