

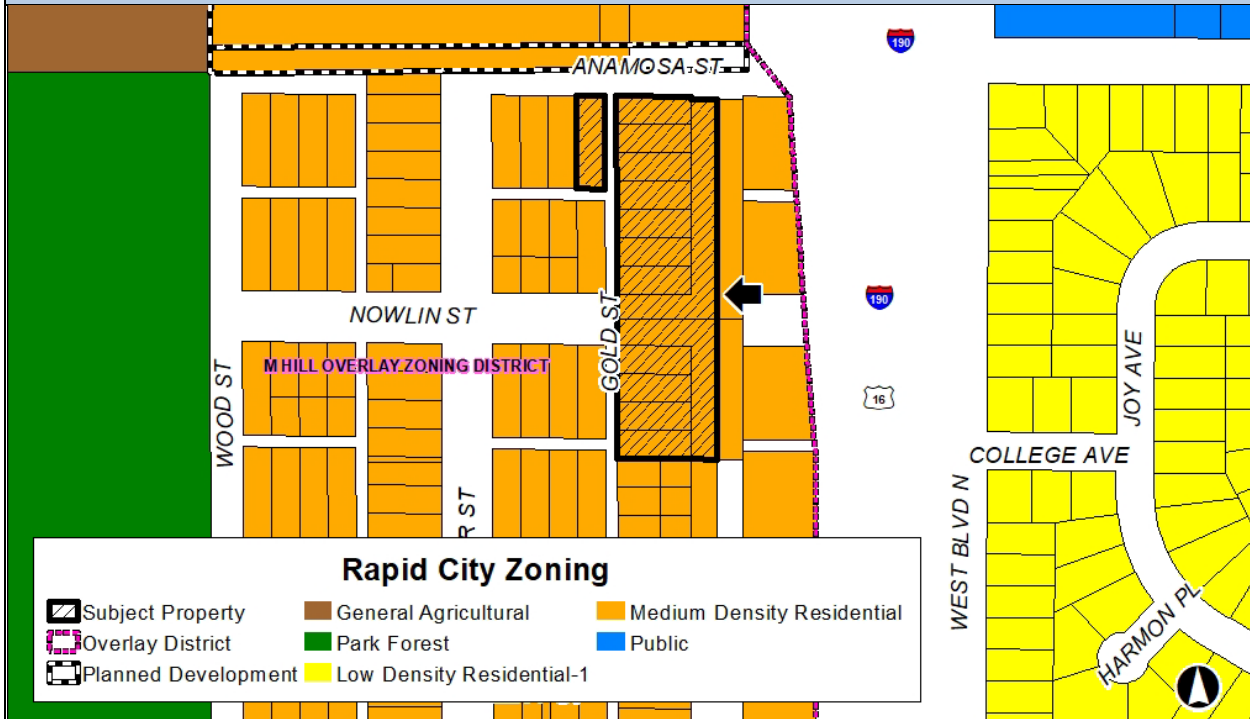
Rapid City Planning Commission
Planned Development Overlay Project Report
June 25, 2020

Item #12	
Applicant Request(s)	
Case #20PD020 – Initial and Final Planned Development Overlay to allow an apartment complex	
Companion Case(s) N/A	
Development Review Team Recommendation(s)	
Staff recommends approval of the Final Planned Development Overlay to allow an apartment complex with stipulations as noted below.	
Project Summary Brief	
The applicant has submitted an Initial and Final Planned Development Overlay to allow an apartment complex. Specifically, the applicant intends to construct a 36-unit apartment building on the property that will include affordable apartment units. The subject property is 2.77 acres in size and is currently zoned Medium Density Residential District and is located within the M Hill Overlay District. The property is accessed via two separate driveways on Anamosa Street and Nowlin Street. While a multi-family dwelling unit is a permitted use within the Medium Density Residential District, the applicant has submitted this Initial and Final Planned Development Overlay to seek an Exception to reduce the required off-street parking for the development.	
Applicant Information	Development Review Team Contacts
Applicant: Discovery Village Apartments, LLP	Planner: John Green
Property Owner: 3L LLC	Engineer: Roger Olsen
Architect: N/A	Fire District: Tim Behlings
Engineer: KTM Design Solutions, Inc.	School District: Kumar Veluswamy
Surveyor: N/A	Water/Sewer: Roger Olsen
Other: N/A	DOT: Stacy Bartlett
Subject Property Information	
Address/Location	East of the intersection of Nowlin Street and Silver Street
Neighborhood	North Rapid Neighborhood Area
Subdivision	Scotts Addition
Land Area	2.77 acres or 120,661 square feet
Existing Buildings	Void of structural development
Topography	Relatively level
Access	Nowlin Street and Anamosa Street
Water / Sewer	Rapid City
Electric/Gas Provider	Black Hills power/MDU
Floodplain	N/A

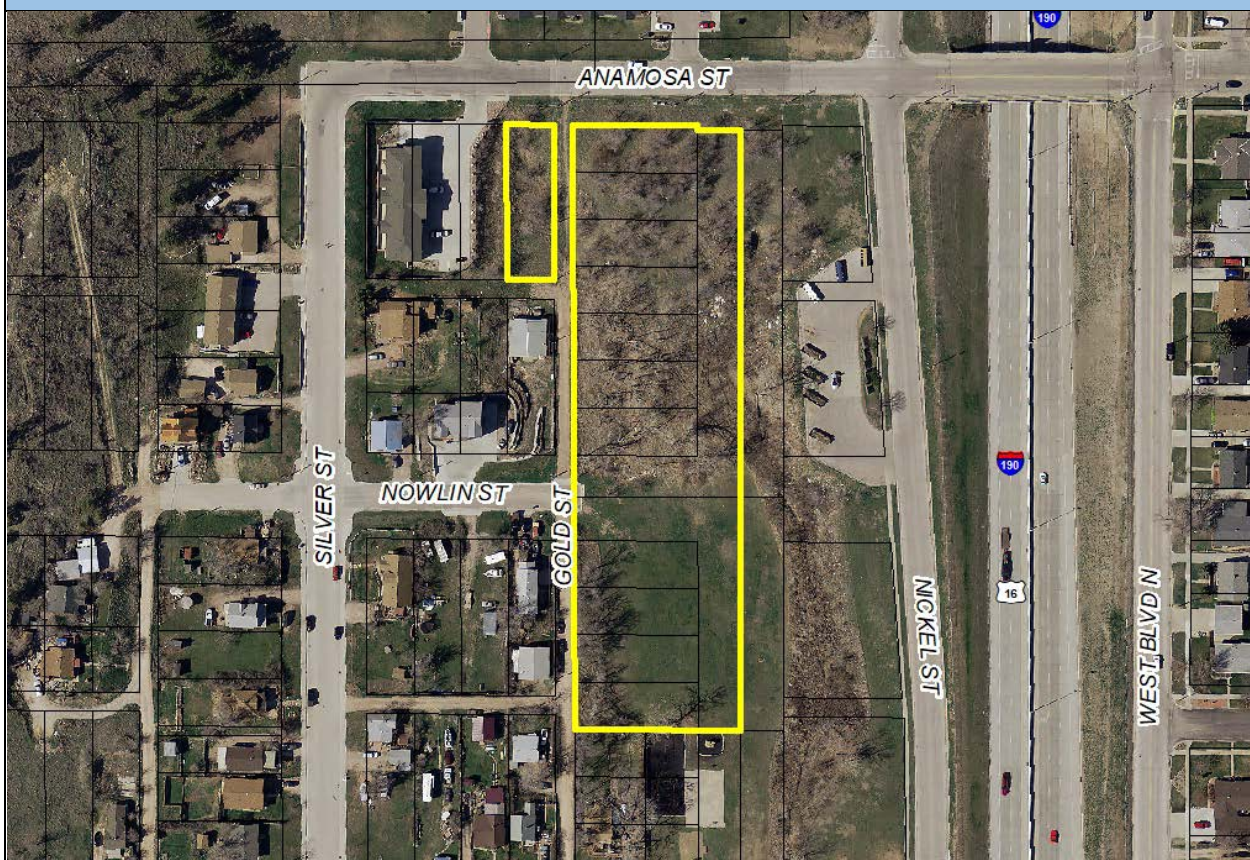
Subject Property and Adjacent Property Designations

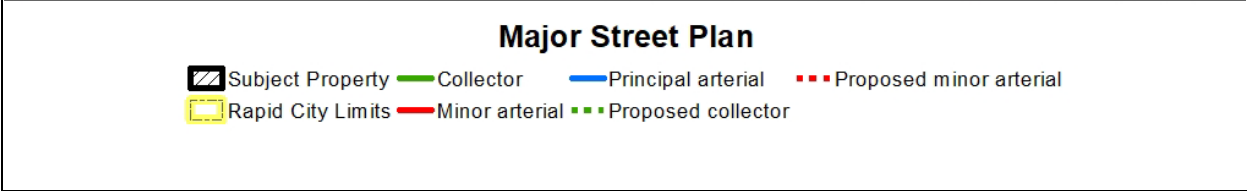
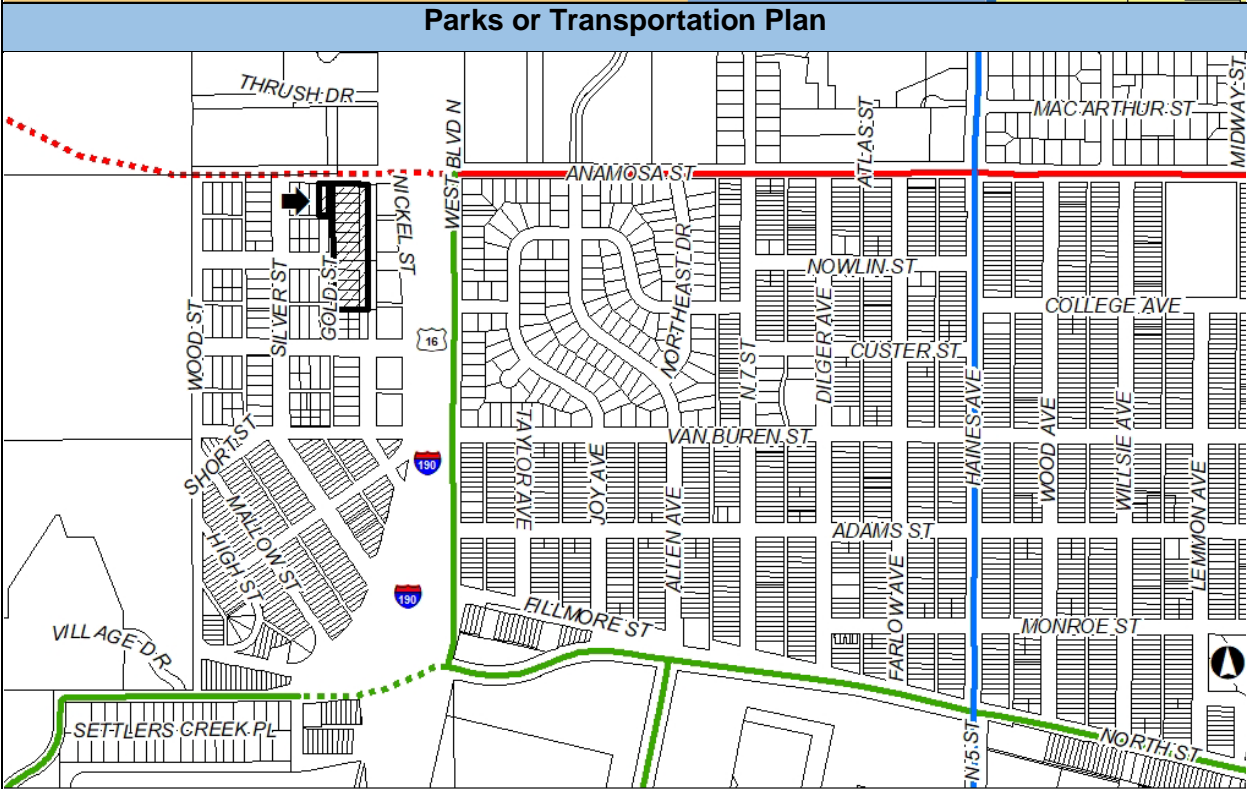
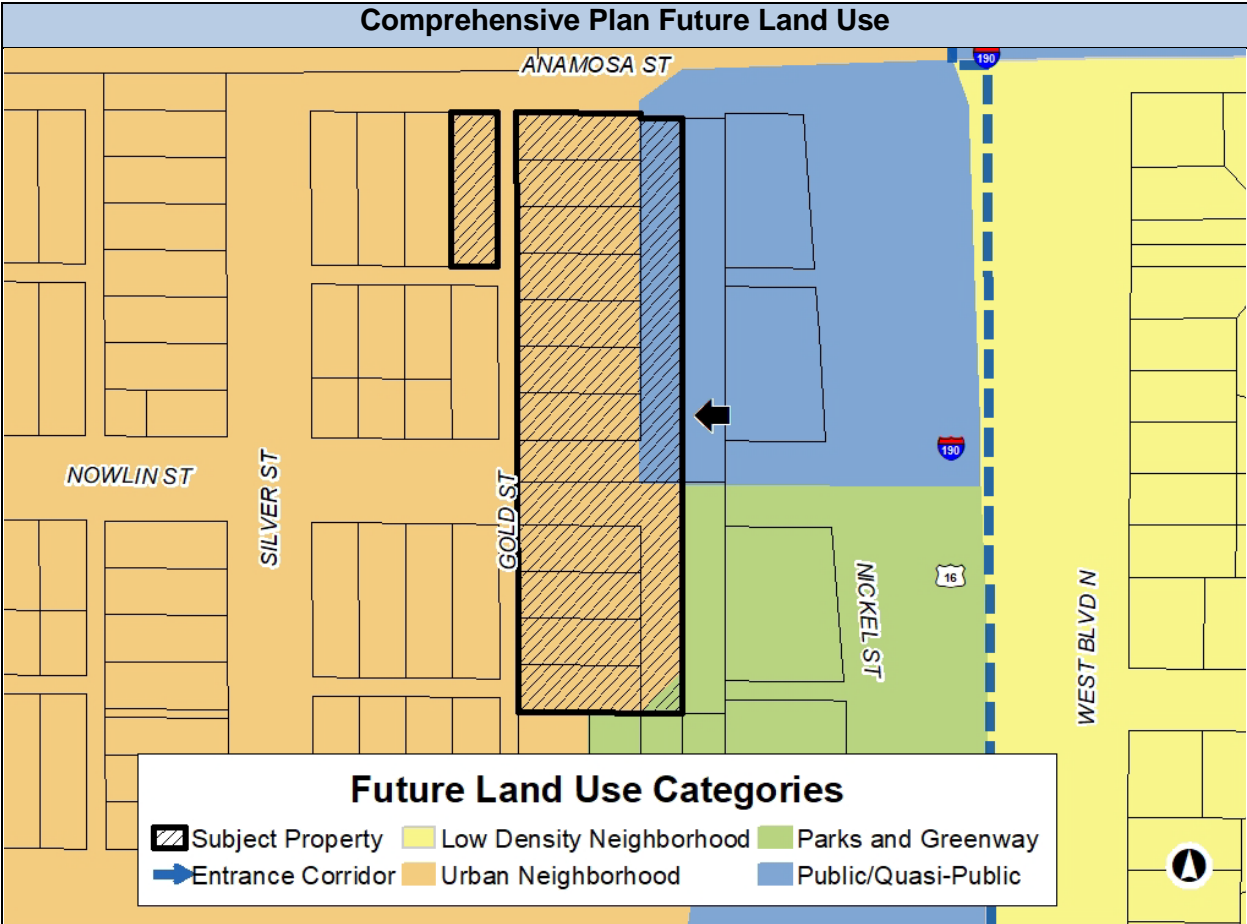
	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	MDR	UN	Vacant
Adjacent North	MDR	UN	Multi-family dwellings
Adjacent South	MDR	UN	Single-family dwellings
Adjacent East	MDR	UN	Single-family dwellings
Adjacent West	MDR	UN	Single-family dwellings

Zoning Map



Existing Land Uses





Relevant Case History			
Case/File#	Date	Request	Action
Relevant Zoning District Regulations			
Medium Density Residential District		Required	Proposed
Lot Area		77,000 square feet	2.77 acres or 120,661 square feet
Lot Width		100 feet	Approximately 340 feet
Maximum Building Heights		3 stories or 35 feet	3 stories
Maximum Density		30%	12.8%
Minimum Building Setback:			
• Front		25 feet	93 feet
• Rear		25 feet	263 feet
• Side		12 feet plus 1 foot per 3 feet in building height beyond second story	16.75 feet / 92 feet
• Street Side		25 feet	N/A
Minimum Landscape Requirements:			
• # of landscape points		104,337 points	104,410 points
• # of landscape islands		N/A	N/A
Minimum Parking Requirements:			
• # of parking spaces		81 spaces	Requesting an Exception to allow 73 spaces in lieu of 81 required
• # of ADA spaces		4 spaces, 1 ADA "Van Accessible"	6 spaces, 3 ADA "Van Accessible"
Signage		As per RCMC 17.50.100	None Shown
Fencing		As per RCMC 17.50.340	None proposed

Planning Commission Criteria and Findings for Approval or Denial	
<p>Pursuant to Section 17.50.050(F)5 of the Rapid City Municipal Code the Planning Commission shall consider the following criteria for a Major Amendment to a Planned Development Overlay:</p>	
Criteria	Findings
<p>1. There are certain conditions pertaining to the particular piece of property in question because of its size, shape, or topography:</p>	<p>The subject property is 2.77 in acres in size and is zoned Medium Density Residential District. Specifically, the applicant intends to develop the property as a 36-unit apartment building which will include affordable housing options for tenants. A multi-family apartment building is a permitted use within the Medium Density Residential District. The applicant has submitted this Initial and Final Planned Development Overlay application in order to seek an Exception to the off-street parking requirements for a multi-family development in the M Hill Overlay District.</p>
<p>2. The application of these regulations to this particular piece of property would create a practical difficulty or undue hardship:</p>	<p>An apartment complex is a permitted use with the Medium Density Residential District. The applicant intends to construct a 36-unit apartment building on the subject property, requiring a minimum of 2 off-street parking spaces per unit plus an additional off-street space for guests at a ratio of one space per 4 apartment units. The applicant is seeking an Exception to reduce the required off-street parking requirements for the development from 81 spaces to 73 spaces.</p>

<p>3. Exceptions to the underlying zoning district, if granted, would not cause undue hardship to the public good or impair the purposes and intent of these regulations:</p>	<p>The applicant has requested an Exception to reduce the required off-street parking spaces from 81 spaces to 73 spaces for the development. Because the subject property is located within the M Hill Overlay District, the ratio for parking spaces required with a multi-family development exceeds those commonly used to determine parking within other districts for similar uses. Additionally, the M Hill Overlay District also requires dedicated “guest” parking spaces to be in place at a ratio of one space per four apartment units, increasing the off-street parking total required. The applicant is seeking an Exception to allow 73 spaces in lieu the 81 spaces required, a 9% reduction from the minimum requirement. The requested Exception is minimal in nature and does not appear to cause any adverse impact on the surrounding land uses. The applicant has identified that the proposed parking exceeds the minimum parking requirement from the South Dakota Housing Development Authority, demonstrating that the proposed parking will adequately serve the needs of their tenants. As such, staff recommends that the Exception request to reduce the required off-street parking from 81 spaces to 73 spaces be approved.</p>
<p>4. A literal interpretation of this chapter would deprive the applicant of rights that others in the same district are allowed:</p>	<p>A multi-family development is a permitted use within the Medium Density Residential District. The applicant has submitted this application in order to obtain an Exception for the parking requirement for a multi-family development in the M Hill Overlay District.</p>
<p>5. Any adverse impacts will be reasonably mitigated:</p>	<p>The stipulations of approval of the Final Planned Development Overlay will serve to reasonably mitigate any adverse impacts. Specifically, staff noted that prior to submittal of a Building Permit, the site plan must be revised to show a sidewalk along Lot 15, west of the alley adjacent to the development. Additionally, in review of the site plan for the development, staff noted that the proposed structure encroached into an existing Major Drainage Easement, requiring that the site plan be redesigned with the proposed structure relocated outside of the easement or that the easement be vacated prior to issuance of a Building Permit.</p>
<p>6. The requested exception to the underlying zoning district standards is an alternative or innovative practice that reasonably achieves the objective of the existing standard sought to be modified:</p>	<p>The applicant has requested an Exception to reduce the required off-street parking spaces from 81 spaces to 73 spaces for the development. Because the subject property is located within the M Hill Overlay District, the ratio for parking spaces required with a multi-family development exceeds those used to determine parking within other districts for similar uses. Additionally, the M Hill Overlay District also requires dedicated “guest” parking spaces to be in place at a ratio of one space per four apartment units, increasing the off-street parking total required. The applicant is seeking an Exception to allow 73 spaces in lieu the 81 spaces required, a 9% reduction from the minimum requirement. The requested Exception is minimal in nature and does not appear to cause any adverse impact on the surrounding land uses. The applicant has identified that the proposed parking exceeds the minimum parking requirement from the South Dakota Housing Development Authority, demonstrating that the proposed parking will adequately serve the needs of their tenants. As such, staff</p>

	recommends that the Exception request to reduce the required off-street parking from 81 spaces to 73 spaces be approved.
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Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial
In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following values, principles, goals, and policies within the Rapid City Comprehensive Plan:

Comprehensive Plan Conformance – Core Values Chapters	
 A Balanced Pattern of Growth	
BPG-3.2A	Mix of Housing Types: The proposed development will create additional multi-family housing in the neighborhood. The subject property is surrounded by a mix of apartments and single-family residential units.
 A Vibrant, Livable Community	
LC-2.1A	Targeted Residential Growth Areas: The proposed development is located within the Urban Services Boundary and will utilize existing infrastructure.
 A Safe, Healthy, Inclusive, and Skilled Community	
	N/A
 Efficient Transportation and Infrastructure Systems	
T1-2.1A	Major Street Plan Integration: The property will be accessed via Anamosa Street and Nowlin Street, which are identified as a proposed Minor Arterial Street and a Local Street, respectively, on the City’s Major Street Plan.
 Economic Stability and Growth	
	N/A
 Outstanding Recreational and Cultural Opportunities	
	N/A
 Responsive, Accessible, and Effective Governance	
GOV-2.1A	Public Input Opportunities: The proposed Initial and Final Planned Development Overlay requires that public notice be advertised in the newspaper and that mailings are sent to property owners within 250 feet of the proposed development. The requested Initial Planned Development Overlay is before the Planning Commission for review and approval. The public has an opportunity to provide input at this meeting.

Comprehensive Plan Conformance – Growth and Reinvestment Chapter	
Future Land Use Plan Designation(s):	Urban Neighborhood
Design Standards:	
SDP-N1	Mix of Housing Types: The proposed development project will add a mix of multi-family housing to existing single-family residential uses in the neighborhood.

Comprehensive Plan Conformance – Neighborhood Area Policies Chapter	
Neighborhood:	North Rapid Neighborhood Area
Neighborhood Goal/Policy:	
EV-NA1.1A	Residential Growth: The proposed apartment complex will create additional housing options in the North Neighborhood Area.

Findings	
<p>Staff has reviewed the Initial and Final Planned Development Overlay to allow an apartment complex pursuant to Chapter 17.50.050(F)5 of the Rapid City Municipal Code and the goals, policies, and objectives of the adopted Comprehensive Plan. The applicant has submitted this Initial and Final Planned Development Overlay to allow a 36-unit apartment building on the subject property. A multi-family development is a permitted use within the Medium Density Residential District. The proposed development adds a variety of housing type to the existing neighborhood of single-family dwelling units and multi-family dwelling units and appears to be in keeping with the existing character of the neighborhood. As such, staff recommends approval of the Initial and Final Planned Development Overlay to allow an apartment complex.</p>	

Planning Commission Recommendation and Stipulations of Approval	
Staff recommends approval of the Initial and Final Planned Development Overlay to allow an apartment complex with the following stipulations:	
1.	An Exception is hereby granted to reduce the required off-street parking requirement from 81 spaces to 73 spaces;
2.	Prior to submittal of a Building Permit, the site plan shall be revised to address all redlined comments;
3.	Prior to submittal of a Building Permit, the site plan shall be revised to show a sidewalk constructed along the frontage of Lot 15, located across the alley adjacent to the development;
4.	Prior to submittal of a Building Permit, the site plan shall be revised to relocate the portion of the structure encroaching into the Major Drainage Easement or the easement shall be vacated;
5.	Prior to submittal of a Building Permit, the subject property shall be re-platted into a single lot or a Developmental Lot Agreement shall be entered into and recorded;
6.	The Final Planned Development Overlay shall allow for a 36-unit apartment complex. Any change in use or expansion of use that is permitted in the Medium Density Residential District shall require a Minimal Amendment to the Final Planned Development. Any change in use or expansion of use that is a Conditional Use in the Medium Density Residential District shall require the review and approval of a Major Amendment to the Final Planned Development Overlay.

Rapid City Department of Community Development

Development Review Advisories

<i>Disclosure: The Development Review Team has created this list of Advisories as a courtesy for your specific application. This is not a complete list. All City, District, State, and Federal requirements must be continually met.</i>	
	Applicant Request(s)
Case # 20PD020	Final Planned Development Overlay to allow an apartment complex
Companion Case(s) N/A	N/A
ADVISORIES: Please read carefully!	
1.	A Building Permit shall be obtained prior to any structural construction or placement of a mobile home and a Certificate of Occupancy shall be obtained prior to occupancy;
2.	All requirements of the Infrastructure Design Criteria Manual and the Rapid City Standard Specifications shall be met;
3.	All requirements of the currently adopted Building Code shall be met;
4.	An Air Quality Construction Permit shall be obtained prior to any surface disturbance of one acre or more;
5.	A Right-of-way Permit shall be obtained prior to any work within the right-of-way, including grading;
6.	ADA accessibility shall be provided throughout the structure and site as necessary;
7.	All provisions of the underlying zoning district shall be met unless otherwise specifically authorized as a stipulation of this Final Planned Development Overlay or a subsequent Major Amendment;
8.	All outdoor lighting shall continually be reflected within the property boundaries so as to not shine onto adjoining properties and rights-of-way and to not be a hazard to the passing motorist or constitute a nuisance of any kind; and,
9.	All applicable provisions of the adopted International Fire Code shall continually be met.