

Case No. 17PL088

Existing Legal Description:

Lots 15 and 16 f Block 6 of Chambers Addition, located the NW1/4 of the NE1/4 of Section 9, T1N, R7E, BHM, Rapid City Pennington County, South Dakota

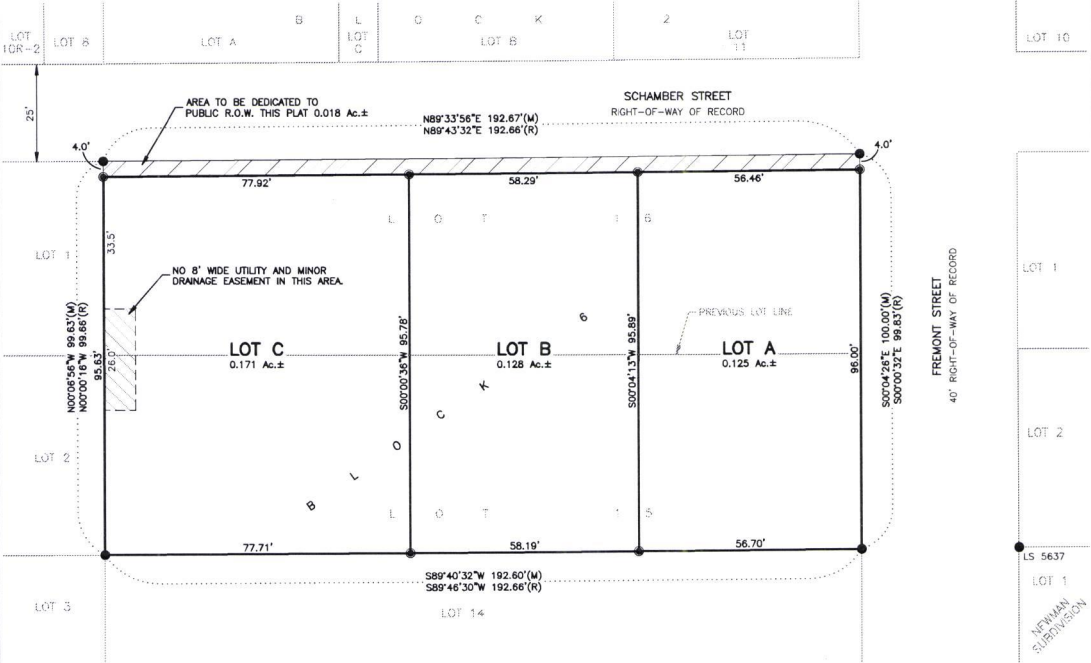
Proposed Legal Description:

Proposed Lots A, B and C of Block 6 of Chambers Addition

17PL088

PLAT OF
LOTS A, B, & C OF BLOCK 6, &
DEDICATED SCHAMBER STREET RIGHT OF WAY
SCHAMBER ADDITION NO. 3

(formerly Lots 15 & 16 of Block 6 of the NE1/4 of
Section 9, T1N, R7E, BHM, aka Schamber Addition)
LOCATED IN THE NW1/4 OF THE NE1/4
SECTION 9, T1N, R7E, BHM
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



LEGEND

- Denotes set rebar with survey cap marked "Renner - Assoc. 9213"
- Denotes Found Survey Monument marked LS 2199, unless otherwise noted
- (R) Denotes Recorded in "Map of Boundary Survey" dated April 20, 2010 by Heald Land Surveying.
- (M) Denotes Measured in this survey.

BASIS OF BEARINGS: GEODETIC NORTH AS DETERMINED BY GLOBAL POSITIONING SYSTEM. (GPS) WGS 84.

UTILITY AND MINOR DRAINAGE EASEMENTS: 8' ON THE INTERIOR SIDES OF ALL LOT LINES EXCEPT WHERE SHOWN HEREON.

CERTIFICATE OF OWNERSHIP

State of South Dakota S.S.
County of Pennington

I, Randall Ruthford, President, of TRIPLE "R" CORPORATION, do hereby certify that we are the owners of the land shown and described herein; that the survey was done of our request for the purpose indicated herein; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right-of-way is hereby dedicated to public use and public utility use as such, however, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, I have set my hand and seal.

OWNER: TRIPLE "R" CORPORATION

By: _____
Randall Ruthford, President

On this _____ day of _____, 20____, before me, a Notary Public, personally appeared Randall Ruthford, known to me to be the person described in the foregoing instrument and acknowledged to me that he signed the same.

NOTARY PUBLIC: _____

My commission expires: _____

CERTIFICATE OF COMMUNITY PLANNING & DEVELOPMENT SERVICES DIRECTOR

I, Community Planning & Development Services Director of the City of Rapid City, have reviewed this plat and have found it to conform to the Subdivision requirements of Chapter 16.08.080 of the Rapid City Municipal Code and as such I have approved the Plat as Final Plat.

Dated this _____ day of _____, 20____.

Community Planning & Development Services of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that the Community Planning & Development Services Director of the City of Rapid City, has approved this Final Plat as shown herein.

Dated this _____ day of _____, 20____.

Finance Officer of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that all special assessments which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Finance Officer of the City of Rapid City



CERTIFICATE OF SURVEYOR

State of South Dakota S.S.
County of Pennington

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed herein, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or restrictions of miscellaneous record or private agreements that are not known to me are not shown herein.

In witness whereof, I have hereunto set my hand and seal.

Eric D. Howard, Registered Land Surveyor Date: _____

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown herein is hereby approved. Any approaches or access to the Highway or Street will require additional approval.

Dated this _____ day of _____, 20____.

Highway or Street Authority

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Treasurer of Pennington County

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this _____ day of _____, 20____.

Director of Equalization of Pennington County

APPROVED: _____

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota S.S.
County of Pennington

Filed this _____ day of _____, 20____, at _____ o'clock

M. in Document # _____

Register of Deeds

Fee: \$ _____

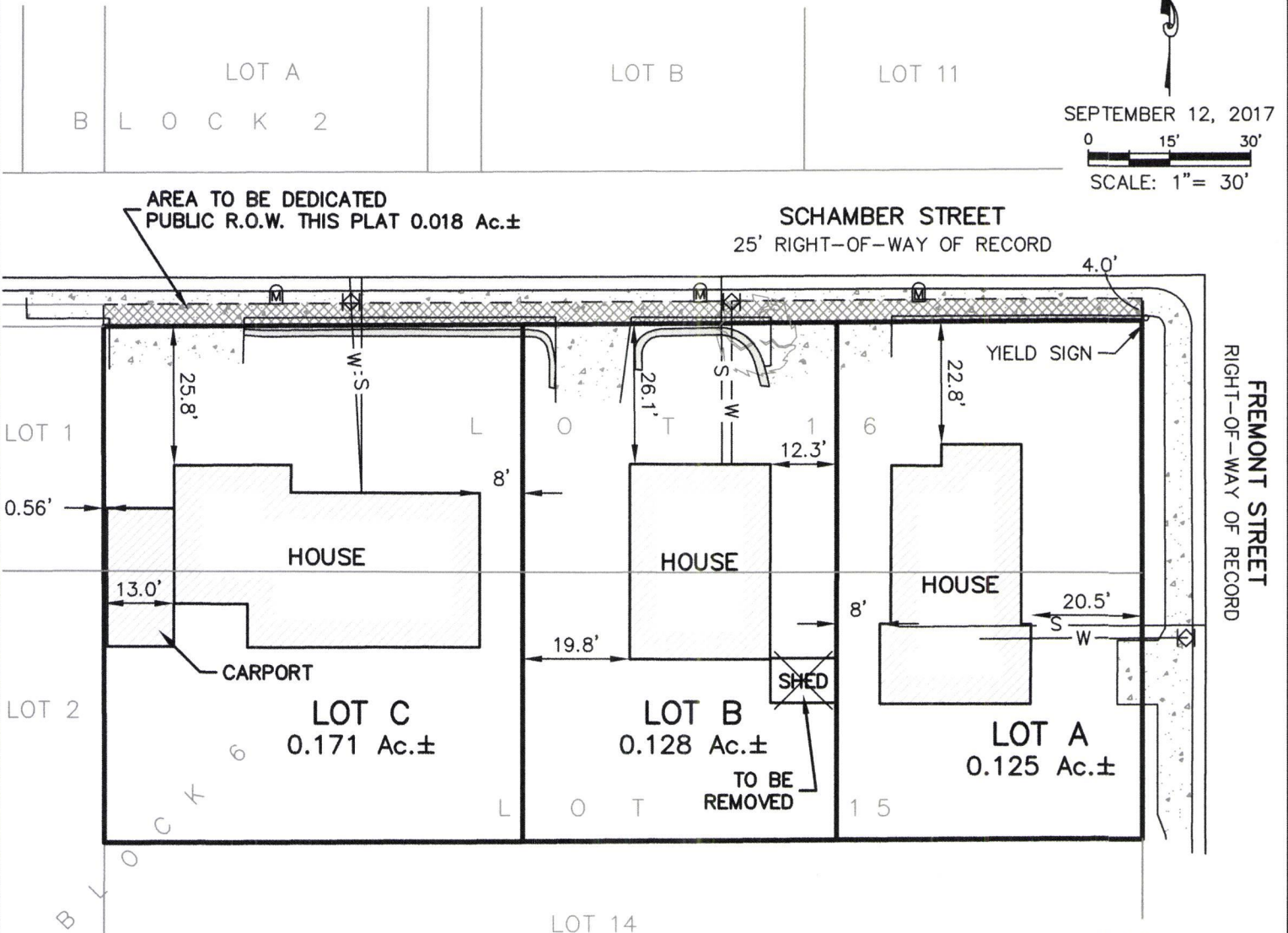
EXHIBIT 'A'

BUILDING LOCATION SURVEY

LOTS A, B, & C, BLOCK 6,

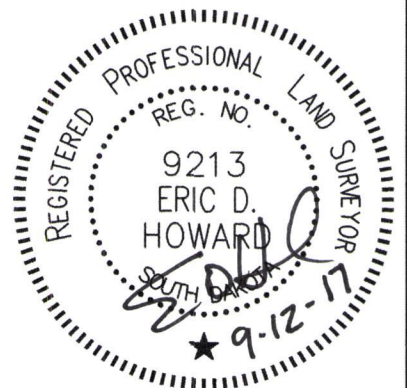
SCHAMBER ADDITION NO. 3

LOCATED IN NW1/4 OF NE1/4,
SECTION 9, T1N, R7E, BHM,
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



LEGEND

- W — WATER LINE
- S — SANITARY SEWER LINE
- ▬ RETAINING WALL
- ▨ CONCRETE



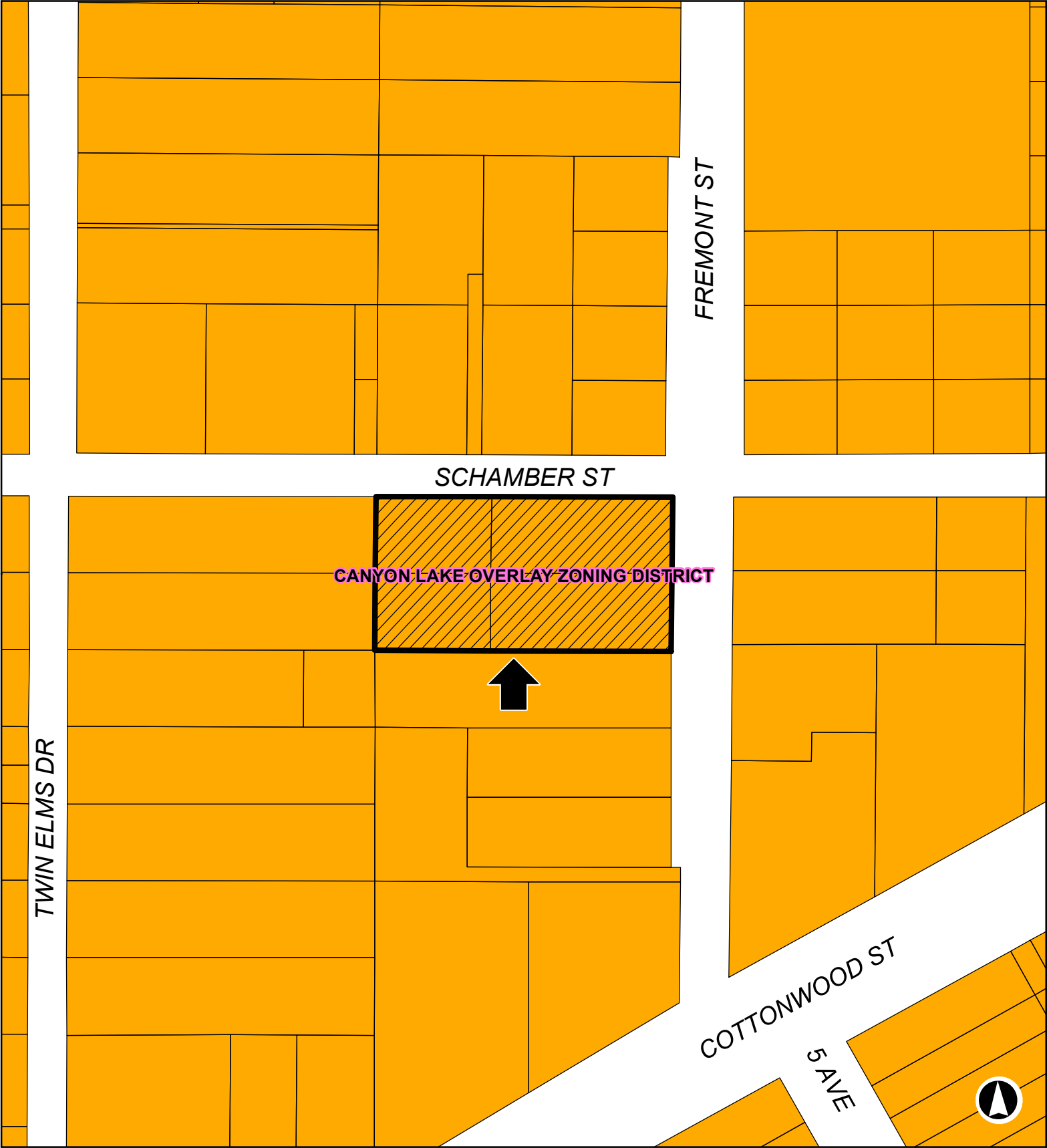
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SCHAMBER ST

FREMONT ST



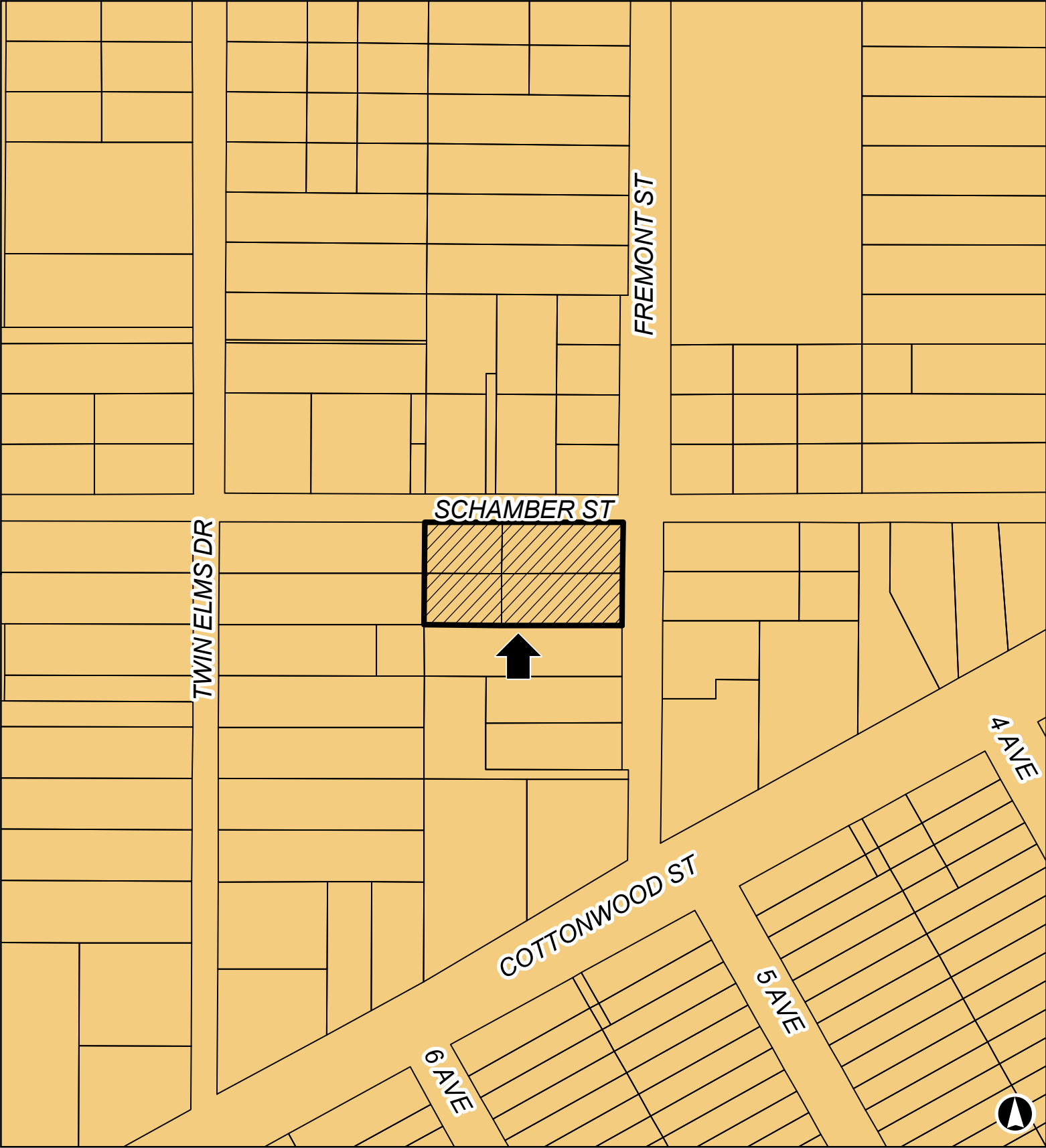
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3647 Schamber Street



Rapid City Zoning

 Subject Property  Overlay District  Medium Density Residential

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3647 Schamber Street



Future Land Use Categories



Subject Property



Urban Neighborhood

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Major Street Plan

 Subject Property  Collector  Minor arterial  Principal arterial

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