

Case No. 17PL087

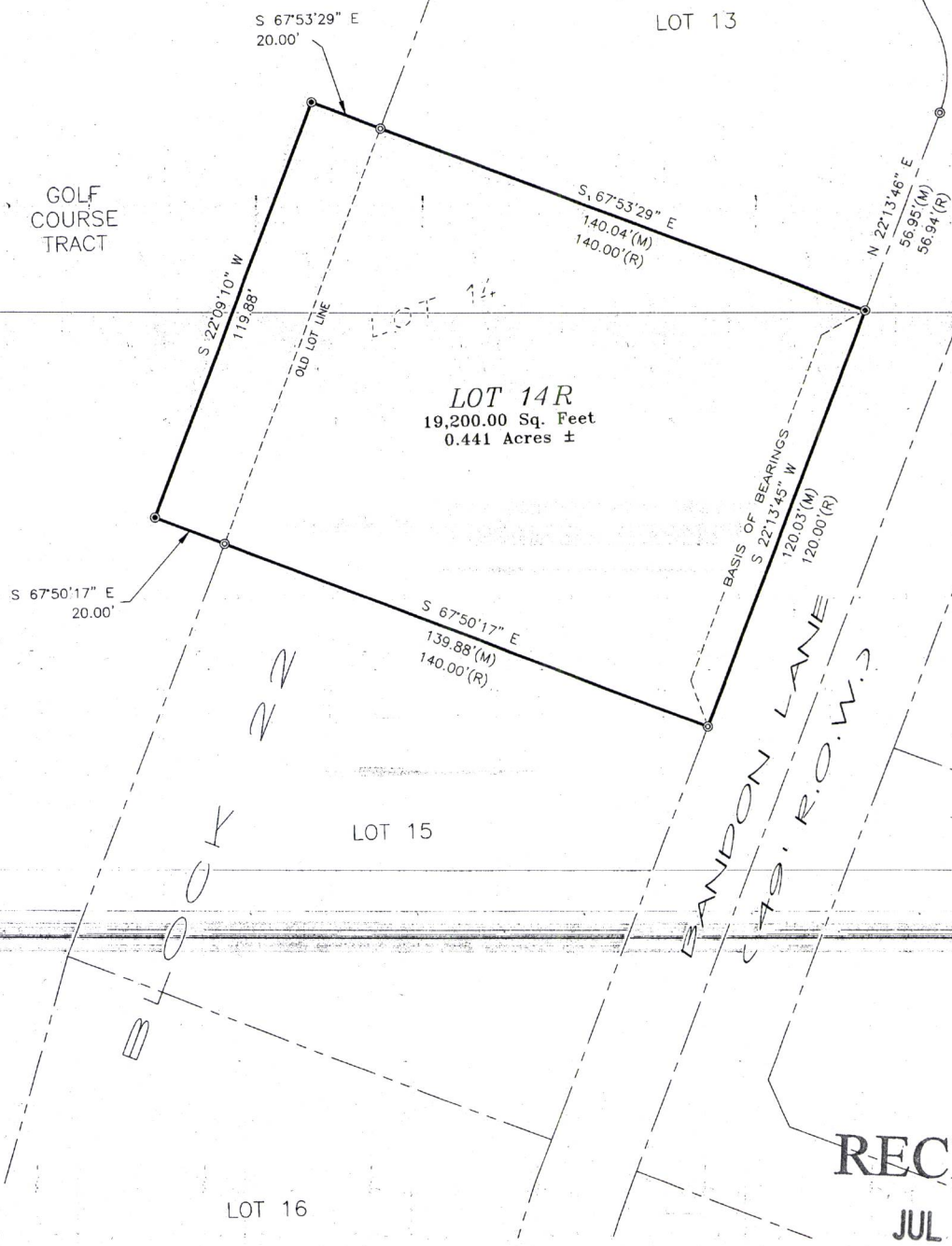
Existing Legal Description:

Lot 14 of Block 22 of Red Rock Estates and a portion of the unplatted NE1/4 of the NE1/4 of Section 29, T1N, R7E, all located in the NE1/4 of the NE1/4 of Section 29, T1N, R7E, BHM, Rapid City, Pennington County, South Dakota

Proposed Legal Description:

Proposed Lot 14R of Block 22 of Red Rock Estates

Plat of
 Lot 14R, Block 22 of Red Rock Estates.
 (Formerly all of Lot 14, Block 22 of Red Rock Estates and a portion of the unplatted NE1/4NE1/4 of Section 29, T1N, R7E)
 All located in NE1/4NE1/4 of Section 29, T1N, R7E.
 Black Hills Meridian, City of Rapid City, Pennington County, South Dakota.



SURVEYOR'S NOTES:

- 1.) Utility and Drainage Easement:
 An Eight foot (8') wide utility and minor drainage easement is hereby granted on the interior side of all lot lines. (Except where Major Drainage Easements are located.) Removal or modification of any obstruction or impediment to such an easement shall be the financial responsibility of the landowner.
- 2.) Reference Plat: Plat Book 33 at Page 151, Sheets 1, 2 and 3.
 Plats and Easements of Record as shown hereon are previously recorded with the Pennington County Register of Deeds.
- 3.) Basis of Bearings for this Plat using Geodetic North Determined from Global Positioning System (GPS).

All Access Easements, Major Drainage Easements and Sanitary Sewer Easements shown hereon shall be kept free of all obstructions, including but not limited to, buildings, walls, fences, hedges, trees and shrubs. These easements grant to the City of Rapid City and all public authorities the right to enter upon the property to construct, operate, maintain, inspect and repair such improvements and structures as reasonably necessary to effectuate its purpose.



Shanon E. Vasknetz
 Shanon E. Vasknetz
 Registered Land Surveyor No. 7719

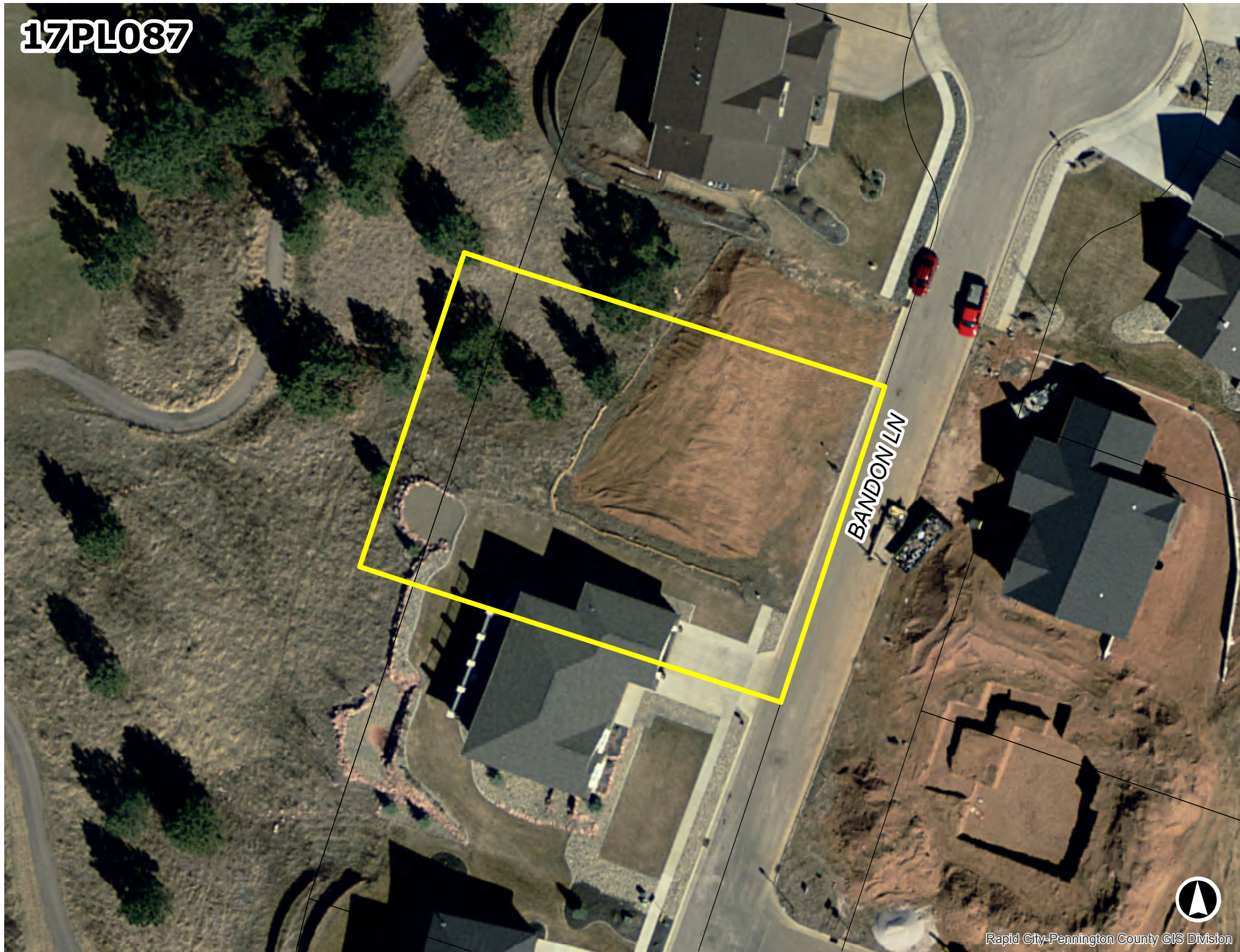


LEGEND:

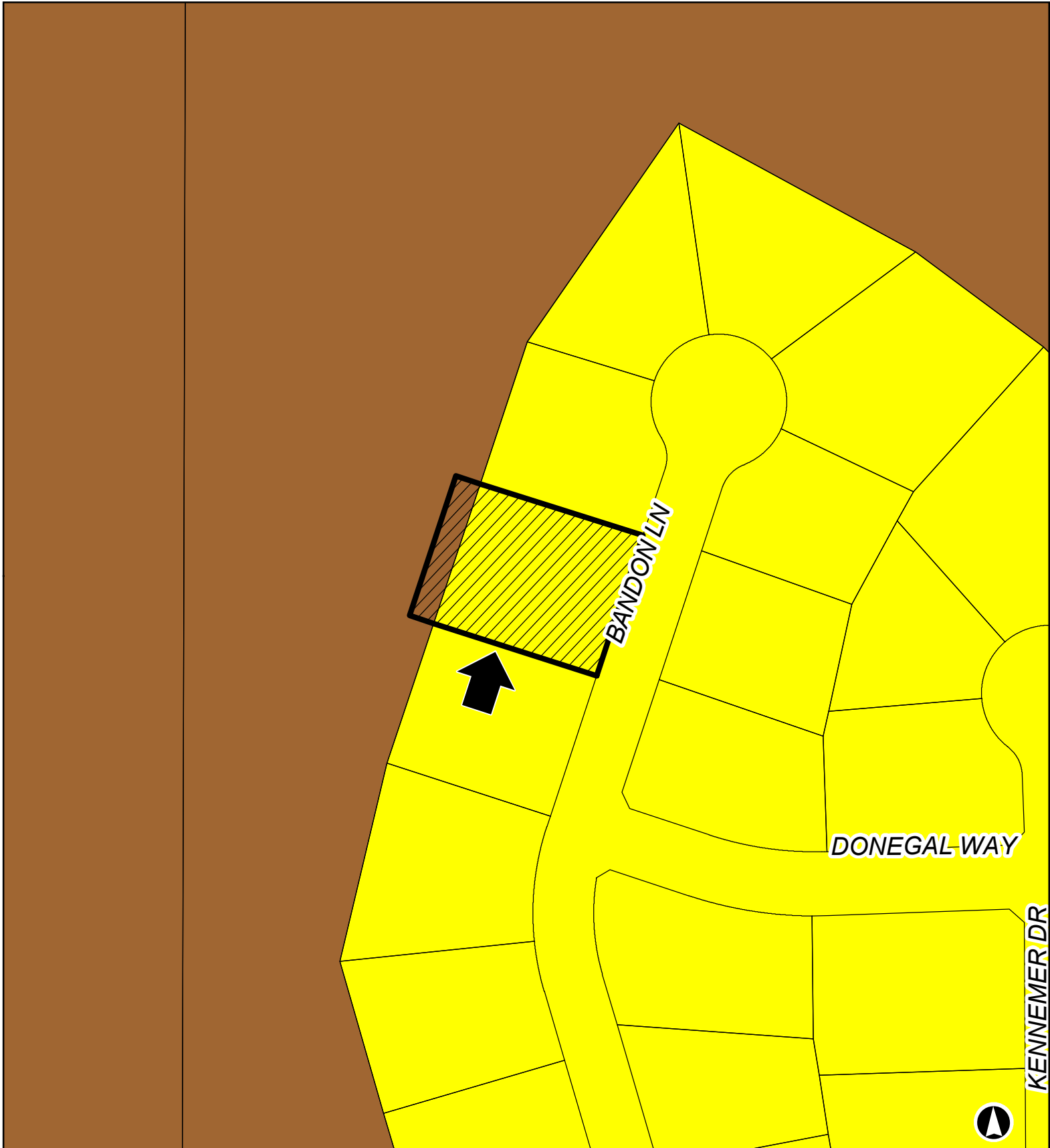
- Found or Set 5/8" Rebar with Cap Marked 'VASKNETZ RLS 7719'.
 - Found 5/8" Rebar with Cap Marked 'ARLETH RLS397' Unless Otherwise Noted.
- (R) Indicates dimensions previously recorded.
 (M) Indicates measured dimensions this survey.

No Flood Hazards were present per FEMA Mapping, FIRM Panel, City of Rapid City, 46103C 0770H Not Printed.

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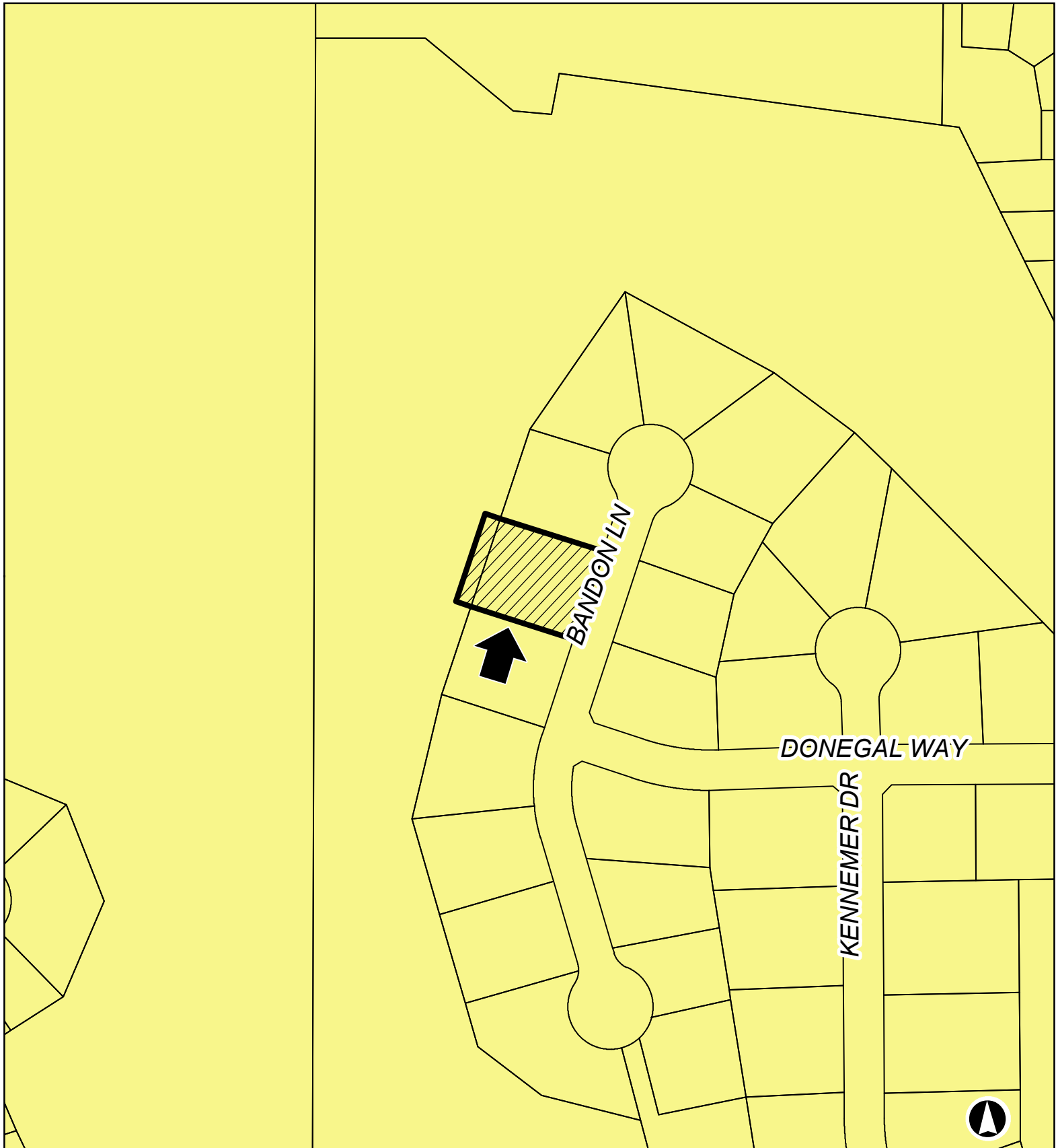
17PL087
West of Bandon Lane



Rapid City Zoning

 Subject Property  General Agriculture  Low Density Residential-1

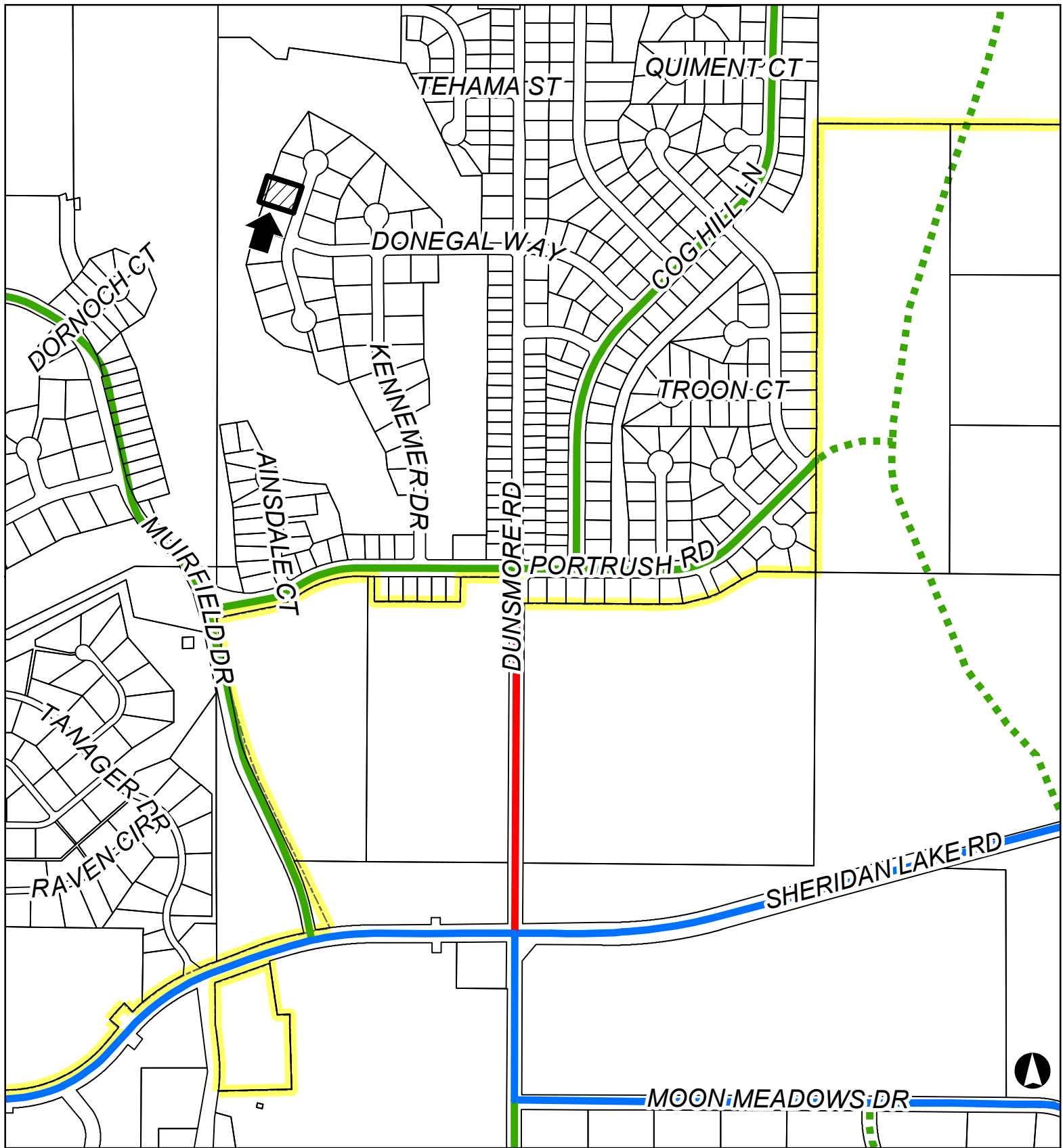
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Future Land Use Categories

 Subject Property  Low Density Neighborhood

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West of Bandon Lane



Major Street Plan

- Subject Property
- Collector
- Principal arterial
- Proposed principal arterial
- Rapid City Limits
- Minor arterial
- Proposed collector

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