

Case No. 17PD041

Legal Description:

Lot 2 of Tower Ridge Subdivision, Section 23, T1N, R7E, BHM, Rapid City, Pennington County, South Dakota

July 14, 2017

City of Rapid City
Growth Management Department
300 Sixth Street
Rapid City, SD 57701

Re: Initial & Final Planned Development (PCD) for Rise Up located at Lot 2 Tower Ridge Sub 23 1N 07E

To Whom It May Concern,

An Initial & Final Planned Development (PD) is being submitted for the Rise Up project located at Lot 2 Tower Ridge Sub 23 1N 07E. Property recently has been changed to Office Commercial with a PD overlay. The property is proposed to be developed as follows:

- 1. **Uses:** The property will be developed to allow for an athletic training and performance center. The facility will include a gymnasium that caters to a variety of sports uses and an open-office area for physical training, wellness, sports medicine, and rehab/injury prevention providers.
 - a. **Initial Development:**
 - i. Sport Medicine Office – B Occupancy 3,000 s.f
 - ii. Gymnasium – A Occupancy 23,750 s.f.
 - iii. Storage/Mechanical – S Occupancy 1,600 s.f.
 - iv. **Total Square Footage** **28,350 s.f.**
 - b. **Future Development:** Site has been designed to accommodate a few different future development options. Future development consists of expansion of Wellness & Sports Medicine Offices. An amendment to the PD will be submitted when the future development is proposed.
- 2. **Occupancy/Parking Requirements:**
 - a. The facility has two use scenarios that have different parking requirements. Below is the calculation for each scenario requirement.
 - b. **Scenario One - Primary Use (90% +/- of the time) Sports Medicine Office & Performance**
 - i. Sports Medicine Office 3,000 sf x (Office@4.00/1,000 sf) = 12
 - ii. Gymnasium 23,750 sf x (Recreation 4.00/1,000 sf) = 95
 - iii. Storage 1,600 sf x (Storage .25/1,000 sf) = .4
 - iv. Total Parking Required 107.4

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c. **Scenario Two –Alternate Use (10% +- of the time) Assembly Use for Athletic Events**

- i. Sports Medicine Office 3,000 sf x (Office 4.00/1,000 sf) = 12
- ii. Gymnasium 390 spectator x (1.00 per .33 seat) = 130
 - 1. On occasion, the facility will be used for athletic events with spectators. The facility is designed for 105 spectators and 25 participants per court. At one time, this facility is designed to have up to 390 people in the gymnasium area. At 1 parking spot per .33 seat we would need to provide 130 Parking space.
- iii. Storage 1,600 sf x (Storage .25 per 1,000 sf) = .4
- iv. Total Parking Required 142.4

d. **Total Parking**

- i. A total of 146 parking spaces are being provided for this facility. The 146 parking spaces exceeded the required parking for both Scenario 1 and Scenario 2.
- ii. Of the 146, a total of 5 handicap parking spaces will be provided. Of the 5 handicap spaces, 2 of them will be van accessible.
- e. **Future Parking:** Future parking on the site has the potential of adding up to an additional 80 parking spots for future Office Commercial use. An amendment to the PD will be submitted when the future expansion is proposed.

3. **Signage Requirements:**

- a. **Initial Site Signage:** The site has 233 linear feet of frontage along Highway 16 and 863 linear feet of frontage along Enchantment Road. A total of 1,096 linear feet of frontage allows for 2,192 sq. ft. of site signage.
 - i. **Initial Site Signage –** Two 20'-0" x 20'-0" monument site signs will be provided on the site. Coordinate location of signs with site plan. One sign will be located at each entrance off of Enchanted Road. The 800 sq. ft. of site signage that is proposed is under the allowed 2,192 sq. ft. of site signage. Final sign graphics will be approved with a minor amendment to PD.
- b. **Initial Building Signage:** The site has 233 linear feet of frontage along Highway 16 and 863 linear feet of frontage along Enchantment Road. A total of 1,096 linear feet of frontage allows for 2,192 sq. ft. of building signage.
 - i. **Initial Building Signage –** Building signs will be located on the east, west and south elevation of the building. A 40'-0" x 5'-0" sign and a 20'-0" x 5'-0" will be located on the west elevation. A 50'-0" x 10'-0" sign will be located on the south elevation. A 40'-0" x 5'-0" sign will be located on the east elevation. The total of 1,000 sq. ft. of building signage that is proposed is under the allowed 2,192 sq. ft. of building

signage. Final sign graphics will be approved with a minor amendment to PD.

4. **Landscape Requirements:**

- a. **Initial Landscape:** 3.86 acres x 43,560 points/acre – 28,350 building footprint = 139,791.6. Design will meet the minimum landscape requirements. A minimum of 140,000 landscape points will be provided. Landscape plan will maximize the points received from existing trees on the site.
- b. **Future Landscape:** A major amendment will be submitted for future phase landscape, which will include revised landscape plan. At this time we do not know when or what will be included in future building expansion.

5. **Building Heights and Setbacks:**

a. **Initial Development Building Heights**

i. **Height Requirements:**

- 1. Ordinance 17.36.060 - Height limited to 3 stories or 35 feet except as provided for in 17.50.260. The one story building does not exceed the maximum building height of 35'-0".
- 2. Future office commercial building could be either one or two stories tall. Future building will not exceed 25'-0" maximum.

- ii. **Initial Development Setbacks:** Site setbacks require a 25'-0" front yard setback provided along the west property line that runs along Highway 16. A 25'-0" front yard setback is required along the north property line that runs along Enchantment Road. A 25'-0" front yard setback is required along the South property line that runs along Plains Vista Court. A 25'-0" side yard setback is required along east property line. All building structures will be kept out of the setbacks.

- iii. **Site Signage Setbacks:** All site signage will be set back a minimum of 10'-0" from any right-of-way setbacks or property setbacks.

- iv. **Screening Requirements:** Screening is required when adjacent to a residential district. Screening would be required along the east property line, however an exception is being requested to eliminate this screening requirement.

6. **Request For Exception:**

- a. The property Owner is requesting a Request For Exception to eliminate the requirement for providing landscape islands in the parking lot. The justification for this exception is the parking lot is a single-corridor parking lot with landscape on either side of the parking lot. There is ample amount of landscape that helps break up the parking lot.
- b. The property Owner is requesting an exception to eliminate the required sidewalk along Plains Vista Road and along Highway 16. Request will be submitted to city engineering for approval.

7. Traffic Study

- a. A traffic study has been conducted for this project. See attached traffic study that has been submitted.

8. Neighborhood Meeting

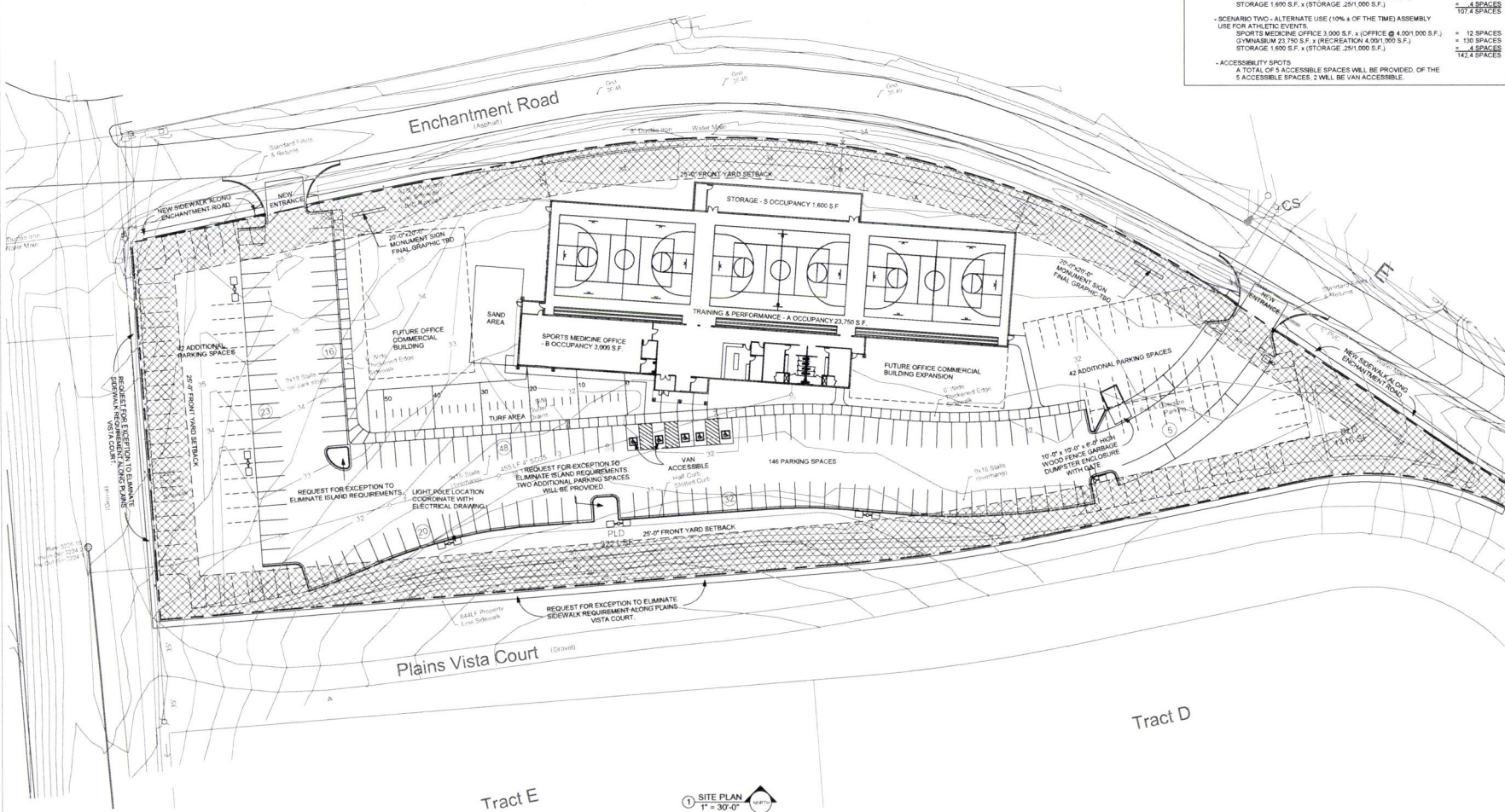
- a. A meeting will be set up for neighbors to review project. ARC will set up meeting time to review and ask questions about proposed design.

Please contact my office if you need clarification or any additional information for this submittal

Sincerely,

A handwritten signature in black ink, appearing to read 'C. Olney', with a stylized, sweeping flourish at the end.

Chris Olney, Project Architect
ARC International, Inc.



- GENERAL NOTES**
- LOT 1 TOWER RIDGE SUBDIVISION SEC 23 075
 - ZONED OFFICE COMMERCIAL
- BUILDING NOTES**
- BUILDING USAGE
 - TRAINING & PERFORMANCE (A OCCUPANCY) - 23,750 S.F.
 - SPORTS MEDICINE OFFICE (B OCCUPANCY) - 3,000 S.F.
 - STORAGE (S OCCUPANCY) - 1,600 S.F.
 - FUTURE BUILDING USAGE
 - FUTURE BUILDING WILL BE SPORTS MEDICINE OFFICE (B OCCUPANCY).
 - MAJOR AMENDMENT TO PD WILL BE SUBMITTED FOR APPROVAL OF FUTURE BUILDING.
 - SITE SIGNAGE
 - SITE HAS 233 LINEAR FEET OF FRONTAGE ALONG HIGHWAY 16 AND 863 LINEAR FEET OF FRONTAGE ALONG ENHANCEMENT ROAD. A TOTAL OF 1,096 LINEAR FEET OF FRONTAGE ALLOWS FOR 2,192 SQ.FT. OF SITE SIGNAGE.
 - TWO 30'-0" x 20'-0" MONUMENT SITE SIGNS WILL BE PROVIDED ON THE FINAL SIGN GRAPHICS WILL BE APPROVED WITH A MINOR AMENDMENT TO THE PD.
 - BUILDING SIGNAGE
 - SITE HAS 233 LINEAR FEET OF FRONTAGE ALONG HIGHWAY 16 AND 863 LINEAR FEET OF FRONTAGE ALONG ENHANCEMENT ROAD. A TOTAL OF 1,096 LINEAR FEET OF FRONTAGE ALLOWS FOR 2,192 SQ.FT. OF SITE SIGNAGE.
 - A TOTAL OF 1,000 SQ.FT. OF BUILDING SIGNAGE IS BEING PROPOSED. SIGNS ARE DIVIDED UP ON ALL FOUR ELEVATIONS. COORDINATE LOCATIONS AND SIZE OF SIGNAGE WITH ELEVATIONS. FINAL SIGN GRAPHICS WILL BE APPROVED WITH A MINOR AMENDMENT TO THE PD.
- PARKING NOTES**
- PARKING COUNT
 - A TOTAL OF 146 PARKING SPACES WILL BE PROVIDED. SITE ALLOWS FOR ADDITIONAL 84 NEW PARKING SPACES FOR FUTURE BUILDING. A MAJOR AMENDMENT WILL BE SUBMITTED FOR FUTURE PARKING EXPANSION.
 - SCENARIO ONE - PRIMARY USE (90% ± OF THE TIME) PERFORMANCE
 - SPORTS MEDICINE OFFICE 3,000 S.F. x (OFFICE @ 4,001/000 S.F.) = 12 SPACES
 - MINIMUM 23,750 S.F. x (RECREATION 4,001/000 S.F.) = 85 SPACES
 - STORAGE 1,600 S.F. x (STORAGE 251/000 S.F.) = 4 SPACES
 - 127.4 SPACES
 - SCENARIO TWO - ALTERNATE USE (10% ± OF THE TIME) ASSEMBLY USE FOR ATHLETIC EVENTS.
 - SPORTS MEDICINE OFFICE 3,000 S.F. x (OFFICE @ 4,001/000 S.F.) = 12 SPACES
 - MINIMUM 23,750 S.F. x (RECREATION 4,001/000 S.F.) = 85 SPACES
 - STORAGE 1,600 S.F. x (STORAGE 251/000 S.F.) = 4 SPACES
 - 142.4 SPACES
 - ACCESSIBILITY SPOTS
 - A TOTAL OF 5 ACCESSIBLE SPACES WILL BE PROVIDED. OF THE 5 ACCESSIBLE SPACES, 2 WILL BE VAN ACCESSIBLE.

ARCHITECT:

ARC HITECTURE
INTERNATIONAL

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DATE: JULY 14, 2017

PROJECT MANAGER: CHRIS OLNEY

PROJECT NUMBER: 2016-004

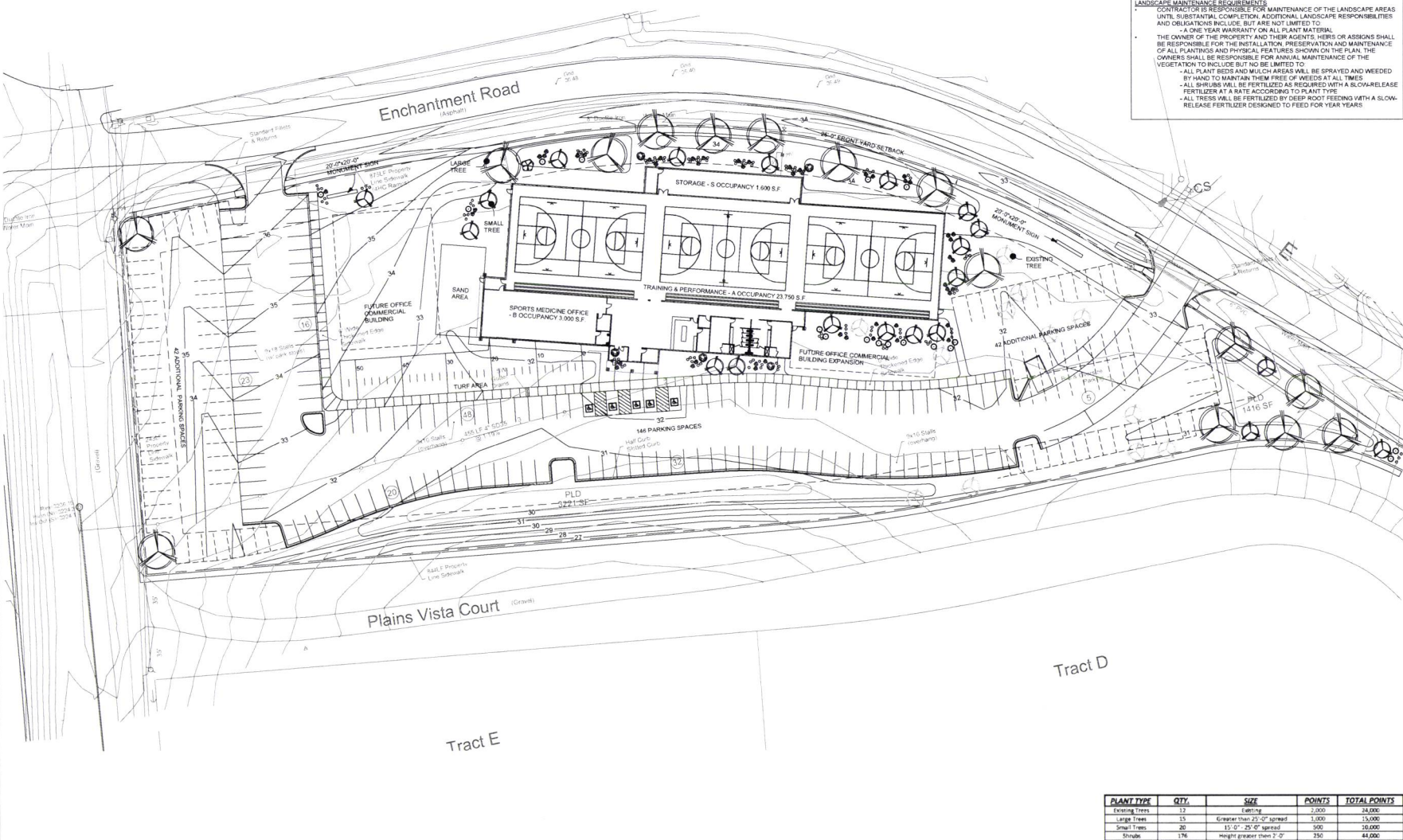
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RISE UP

RAPID CITY, SOUTH DAKOTA

SITE PLAN

A1.10



- GENERAL NOTES**
- ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND WORKMANSHIP LIKE MANNER ACCORDING TO ACCEPTED GOOD PLANTING AND XERISCAPING PROCEDURES AND ACCORDING TO THE APPROVED PLAN, IF AT THE TIME OF FINAL INSPECTION ALL THE REQUIREMENTS OF THESE REGULATIONS HAVE NOT BEEN COMPLETED IN A SATISFACTORY MANNER, A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED UNLESS THE BUILDER OR OWNER HAS PROVIDED A MONETARY SECURITY GUARANTEE.
 - ANY SUBSTITUTE PLANT TYPES SELECTED SHALL BE SUITED TO THE CONDITIONS OF THE LOCATION TO MINIMIZE MAINTENANCE AND IRRIGATION NEEDS.
- IRRIGATION NOTES**
- A DRIP IRRIGATION SYSTEM WITH AN AUTOMATED CONTROLLER WILL BE PROVIDED TO IRRIGATE ALL SHRUBS, TREES AND PERENNIALS.
 - THE USE OF A WATER-SAVING SPRINKLER SYSTEM WITH AN AUTOMATED CONTROLLER IS PROVIDED FOR ALL LAWN AREAS.
 - IRRIGATION SYSTEM SHALL UTILIZE DRIP, BUBBLERS AND A LOW TRAJECTORY SPRAY-HEADS TO MAXIMIZE EFFICIENCY IN WATER USAGE.
 - SLEEVES WILL BE PROVIDED UNDER ALL PAVED SURFACES. SLEEVES TO BE TWICE DIAMETER OF LINE SCHED 40 PVC.
 - EXACT LOCATION FOR IRRIGATION CONTROLLER SHALL BE DETERMINED ON SITE BY OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR. COORDINATE POWER SUPPLY AND WIRE SLEEVING WITH GENERAL CONTRACTOR.
 - PROGRAM CONTROLLER TO IRRIGATE ZONES IN NUMERIC ORDER TO ALLOW INFILTRATION OF APPLIED WATER AND REDUCE RUNOFF.
- LANDSCAPE MAINTENANCE REQUIREMENTS**
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE AREAS UNTIL SUBSTANTIAL COMPLETION. ADDITIONAL LANDSCAPE RESPONSIBILITIES AND OBLIGATIONS INCLUDE, BUT ARE NOT LIMITED TO:
 - A ONE YEAR WARRANTY ON ALL PLANT MATERIAL.
 - THE OWNER OF THE PROPERTY AND THEIR AGENTS, HERES OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THE PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
 - ALL PLANT BEDS AND MULCH AREAS WILL BE SPRAYED AND WEEDED BY HAND TO MAINTAIN THEM FREE OF WEEDS AT ALL TIMES.
 - ALL SHRUBS WILL BE FERTILIZED AS REQUIRED WITH A SLOW-RELEASE FERTILIZER AT A RATE ACCORDING TO PLANT TYPE.
 - ALL TREES WILL BE FERTILIZED BY DEEP-ROOT FEEDING WITH A SLOW-RELEASE FERTILIZER DESIGNED TO FEED FOR YEAR YEARS.

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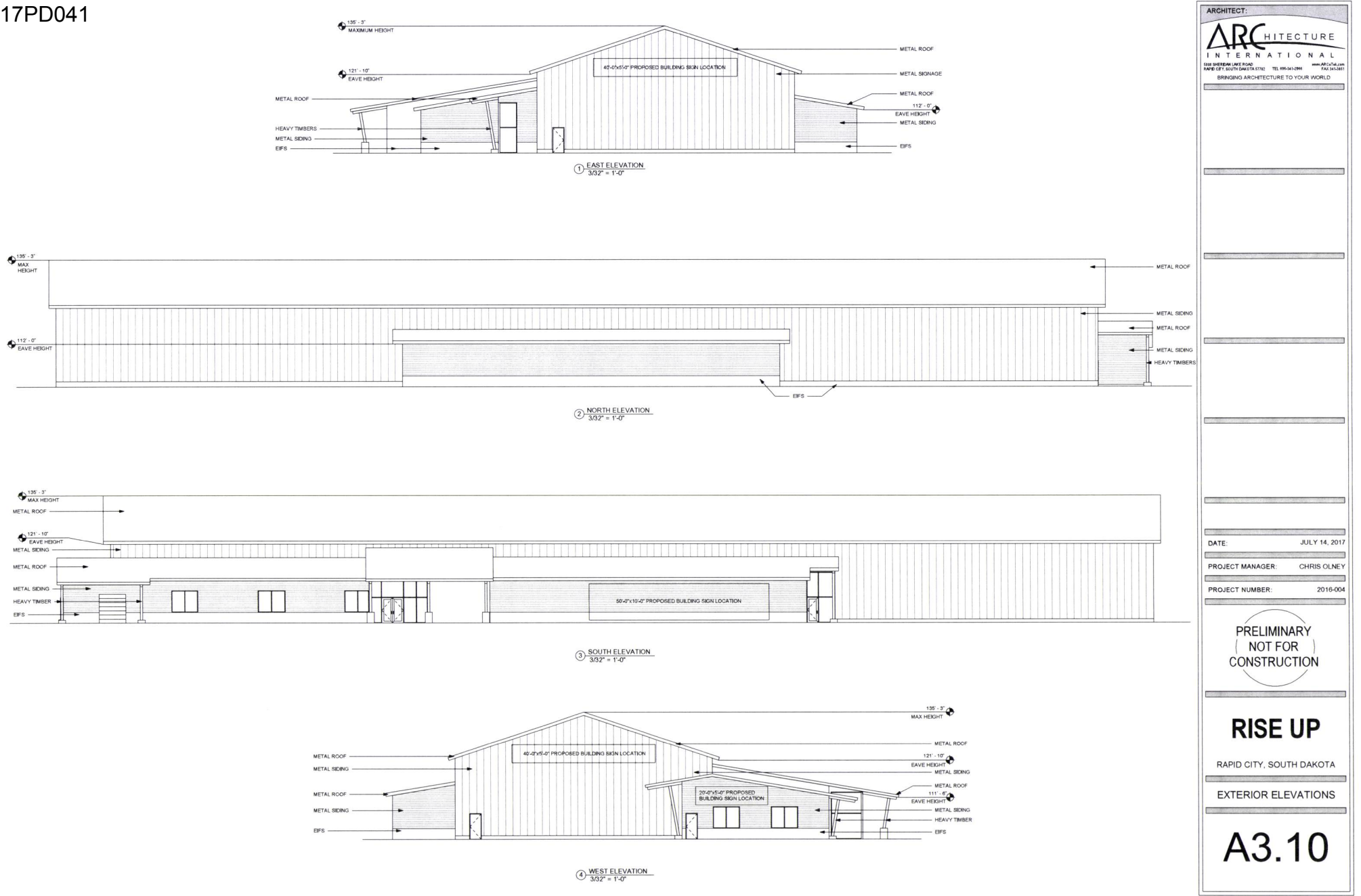
RISE UP

RAPID CITY, SOUTH DAKOTA

LANDSCAPE PLAN

A1.11

PLANT TYPE	QTY.	SIZE	POINTS	TOTAL POINTS
Existing Trees	13	Existing	2,000	26,000
Large Trees	15	Greater than 25'-0" spread	1,000	15,000
Small Trees	20	15'-0" - 25'-0" spread	500	10,000
Shrubs	176	Height greater than 2'-0"	250	44,000
Turf	4716 SQ. YDS.	1 SQ. YD.	10	47,160
Total Points				140,160



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RISE UP
RAPID CITY, SOUTH DAKOTA
EXTERIOR ELEVATIONS

A3.10