

Case No. 17PD028

Legal Description:

Lot 22 of Marlin Industrial Park, located in Section 20, T1N, R8E, BHM, Rapid City, Pennington County, South Dakota



KTM DESIGN SOLUTIONS, INC.

528 Kansas City Street

Rapid City, SD 57701

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Community Planning & Development Services

300 Sixth Street

Rapid City, SD 57701

RE: Initial/Final Planned Development – Pro-Mark Services Inc. – Lot 22, Marlin Industrial Park, Section 20, T1N, R8E, BHM, Rapid City, Pennington County, South Dakota

Dear Review Engineer:

Please find all the attached application materials and supporting documentation required to satisfy the City of Rapid City's requirements for a Final Planned Development for the proposed Pro-Mark Expansion Project located on Lot 22 Marlin Industrial Park in Rapid City, South Dakota.

Included with this submittal are:

1. Application
2. Vicinity Map
3. Turning Movements Exhibit
4. Building Floor Plan
5. Building Elevations
6. Drainage Report
7. Site Plan
8. Geotechnical Report

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JUN 13 2017

**RAPID CITY COMMUNITY PLANNING
& DEVELOPMENT SERVICES**

Project Background:

The proposed Pro-Mark Expansion Project will be located at the northeast quadrant of the intersection of Creek Drive and Marlin Drive within the Marlin Industrial Park. The proposed building will have 6 commercial shop spaces available for lease. This project has the same intent as the adjacent site to the north which was constructed last year by the same applicant. Pro-Mark Services is a Construction Services firm that has been active in the BHA and built a reputation as a dependable and quality contractor through their work in the Black Hills area.

Building Use and Zoning:

See attached floorplan. The proposed building will have a gross floor area of 15,977 SF. The use of the building is intended to serve types of tenants that would require a small amount of office area and utilize larger portion of warehouse area. An example of a tenant would be small contractors such as plumber who would need a small office area and a large area to store equipment and supplies. The building will consist of 6 units comprising of approximately 4,357 square feet of office space and 11,621 square feet of warehouse space.

The property is zoned General Commercial and designated as a Planned Development.

Parking Requirements:

See attached site layout. Per Rapid City zoning code, 5 parking spaces are need per 1,000 square feet of office space and .25 spaces per 1,000 square feet of warehouse space. Using the use area listed above a total of 22 parking spaces are required. The proposed site plan provides a total of 36 spaces with 2 accessible spaces, exceeding the zoning code.

The site and proposed uses do not generate the required peak hour trips to require a Traffic Impact Study.

Landscaping:

Landscaping has been provided in accordance with the Rapid City Zoning Code.

Sanitary Sewer, Water, and Storm Water:

Sanitary Sewer Mains, Water Mains and Storm Water facilities have all been provided to the site. Service line locations are included with the attached site plan.

Building Height:

The proposed building is one (1) story and will be no taller than 27' as measured according to RC Code. Current zoning allows for a maximum height of 45' or 4 stories.

Lot Coverage:

The size of the lot is 1.79 acres or 77,972 SF. The proposed building has a floor area of 15,977 SF, which equates to a lot coverage of 20.5%. Rapid City zoning code allows for maximum lot coverage of 75%.

Signage:

The applicant currently does not wish to construct a sign on the property. However, a future sign location has been identified on the site plan. The applicant has indicated that a future sign would not include an LED component. Should the desire to construct a LED sign arise the applicant will then submit an amendment to the Final Planned Development.

Lighting:

Site lighting will be achieved by mean of wall packs mounted on the exterior of the building in accordance with RC Code.

Thank you for your assistance in this matter.

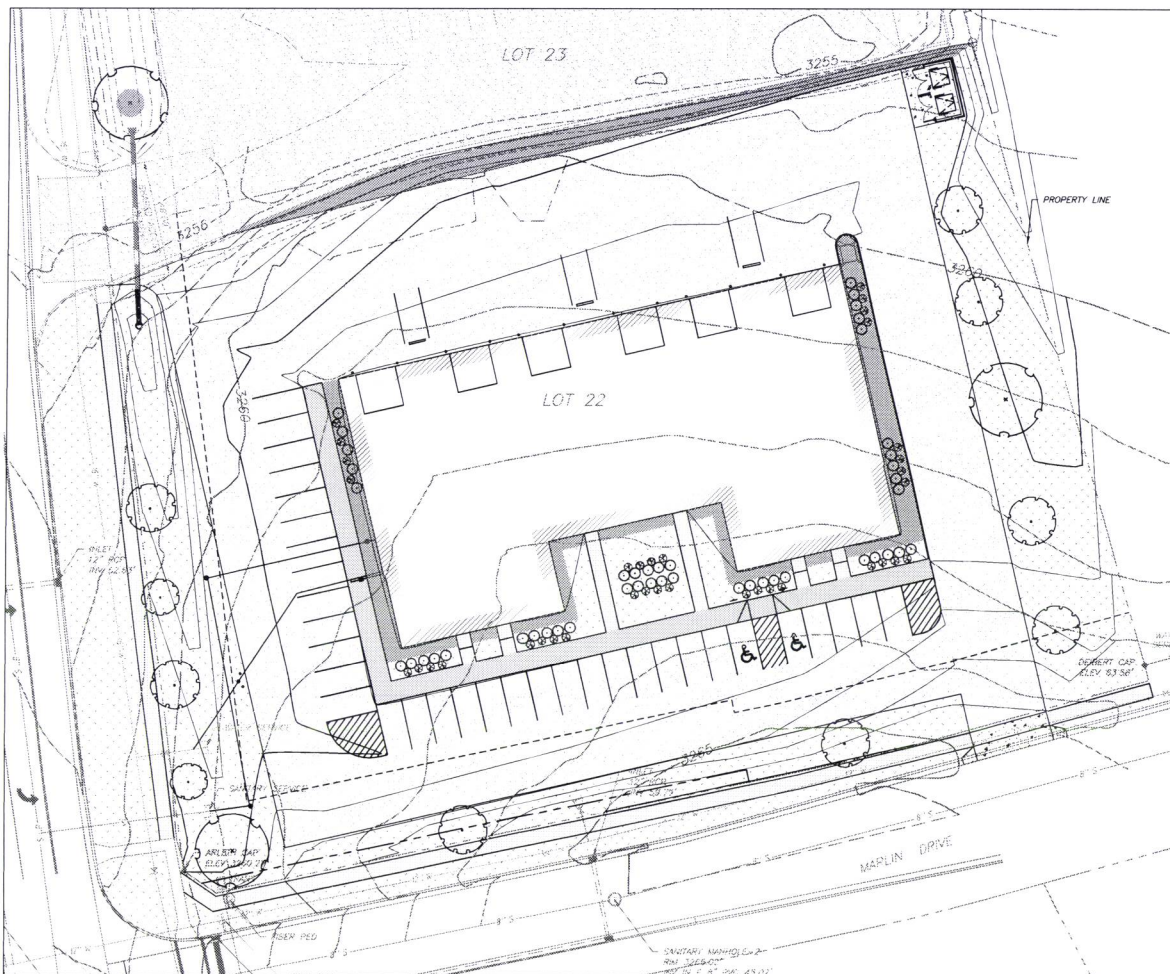
Sincerely,

KTM Design Solutions, Inc.



James Warne, PE

Enclosures



- THE CONTRACTOR SHALL COORDINATE PLANTING INSTALLATION WITH OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE AND IRRIGATION CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON PLANS.
- NO PLANTING OR LANDSCAPE SUBSTITUTION WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNER'S CHIEF ENGINEERING CONSULTANT.
- ALL PLANTING LOCATIONS SHALL BE STAKED OR SET OUT BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 2 DAYS PRIOR TO PLANTING THE STRINGS TO COMPLETE.
- ALL TREES AND SHRUBS SHALL BE NEAR THE SAME RELATIONSHIP TO PLANTED GRASS AS IN THE NURSERY.
- ALL SYNTHETIC MATERIALS FROM AROUND THE TREE TRUNK AND ROOT BALL SHALL BE REMOVED AND NOT INCLUDED WITHIN THE BACKFILL. SOIL MULCH, STYRENE FOAM, BURGLAP PLASTIC, STYRENE, AND OTHER MATERIALS THAT WILL NOT DEGRADE IN THE SOIL SHALL BE REMOVED AT PLANTING.
- THE CONTRACTOR SHALL EXERCISE CARE IN THE INSTALLATION OF ALL PLANTING MATERIAL. ANY PLANT MATERIAL DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL PLANTING MATERIAL, SHALL HAVE A 2 YEAR WARRANTY PERIOD. TURF SHALL HAVE A 90 DAY WARRANTY PERIOD.
- ALL PLANTING MATERIAL, INCLUDING PLANTING AND IRRIGATION HAVE BEEN ACCEPTED IN WRITING FROM THE OWNER.
- THE PLANTING SEASON SHALL BE FROM 10.1. SPRINGS APRIL 15TH TO JUNE 15TH 10.2. FALL: SEPT. 1ST TO OCT. 1ST.
- TREE SHALL BE SPRAYED WITH AN ANTIDECIDUANT PRIOR TO LEAVING THE NURSERY AND WITHIN 24 HOURS OF PLANTING.
- A SLOW RELEASE FERTILIZER SHALL BE APPLIED TO THE PLANTING SOIL AS PER THE PLANTING SPECIFICATIONS AND SOIL TEST RECOMMENDATIONS. THE FERTILIZER SHALL BE APPLIED AT A RATE AS PER SOIL TEST RECOMMENDATIONS FOR TREES. SLOW RELEASE FERTILIZER TABLETS PLACED IN PLANTING PITS ARE ACCEPTABLE.
- MULCH USED ON TREE KINGS SHALL BE A GRAVEL MINERAL MULCH. THE MULCH SHALL BE INSTALLED TO 4" DEPTH.
- ALL PLANT STOCK SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK.
- ALL PLANTING SOURCES SHALL BE FROM LOCAL CLIMATED AND SOIL CONDITIONS AND PROJECT "NO-SP" LANDSCAPE ARCHITECT. IF PLANTING SOURCES ARE OUTSIDE OF A 300 MILE DISTANCE, FOR REVIEW OF NURSERY AND COMING.
- UNLESS OTHERWISE INDICATED, ALL PLANTING BEES IN TURF AREAS SHALL BE BOREHOLE PLANTING. IF "NO-SP" COMMERCIAL GRAVEL MULCH IS USED, SEE PLANTING DETAILS.
- FINISHED GRADE SHALL BE HELD 2 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOIL. OTHER AREAS AS SPECIFIED, SHALL RECEIVE A MULCH DEPTH OF 4" OVER THE ROOT BALL.
- IF A CONFLICT IS FOUND BETWEEN THE PLANTING SCHEDULE AND THE PLANNING COUNT, THE PLANNING COUNT TAKES PRECEDENCE OVER THE PLANTING SCHEDULE.
- TURFGRASS SOIL: SEE PLAN FOR LOCATIONS.
- SOIL SHALL BE WELL-ROOTED AND BE COMPLETELY FREE FROM NOXIOUS WEEDS AND REASONABLY FREE FROM OTHER OBJECTIONABLE GRASSES, WEEDS, AND STONES. SEEDING AND SEEDS SHALL BE DONE IN ACCORDANCE WITH THE SOUTH CAROLINA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- CERTIFIED COMPLYING WITH "SPECIFICATIONS FOR TURFGRASS SOIL MATERIALS" IN TYPE "B" SPECIFICATION TO TURFGRASS SEEDING. FURNISH TABLE SOIL OF UNIFORM DENSITY, COLOR, AND TEXTURE, STURDILY ROOTED, AND CAPABLE OF VIGOROUS.
- GROWTH AND DEVELOPMENT WHEN PLANTED.
- THE SOIL SHALL BE A FULL SUN MIX KENTUCKY BLUE GRASS FOR PASTURES MIX CONTAINING A MINIMUM OF 3 CULTIVARS.
- LAY SOIL WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOIL ON DORMANT OR FROZEN GROUND IS FROZEN OR MUST.
- LAY SOIL TO FORM A SOIL MOUND WITH TIGHTLY FITTED JOINTS. BUTT EDGES AND EDGES OF SOIL STEPS OR PADS TO OFFSET JOINTS.
- ADJACENT ROADS: AVOID DAMAGE TO SUBGRADE OR SOIL DURING INSTALLATION.
- ADJACENT ROADS: TO ENSURE CONTACT WITH SUBGRADE, ELIMINATE AIR POCKETS AND FORM A SMOOTH SURFACE. WORK EXPOSED SOIL OR FINE SAND INTO MAJOR CRACKS BETWEEN PIECES OF SOIL. REMOVE EXCESS TO AVOID SMOOTHERING SOIL AND ADJACENT.
- HYDRO SEED AS PER CITY OF RAPID CITY STANDARD SPECIFICATIONS, SECTION 70.
- THE CONTRACTOR SHALL FULLY COMPLY WITH ALL RAPID CITY ZONING CODES SECTION 17.50.300 - LANDSCAPE ORDINANCE.
- ALL LANDSCAPE BEES SHALL HAVE LANDSCAPE FABRIC INSTALLED UNDER THE MULCH BED.
- COMPOSITE FABRIC: WOVEN NEEDLE-PUNCHED POLYPROPYLENE SUBSTRATE BONDED TO A NONWOVEN POLYPROPYLENE FABRIC. 4.1 OZ. SQ. YD.
- THE PLANT MATERIAL INSTALLATION SHALL BE TIED WITH IRRIGATION INSTALLATION ALLOWING PLANTS TO GET RECOMMENDED WATER AMOUNTS. OTHER THAN IMMEDIATE PLANT WATERING, TEMPORARY WATERING SHALL NOT BE ALLOWED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE, DURING AND AFTER INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- CONTRACTOR TO TAKE SPECIAL CARE TO MAINTAIN SOIL IN THE AREAS OF CHANNELLED FLOW UNTIL SOIL HAS ESTABLISHED THE DRAINAGE WAY. MULCH MUST BE KEPT FREE OF SEDIMENT ANY AREAS OF EROSION MUST BE MAINTAINED IMMEDIATELY.

LEGEND

- PEA GRAVEL MULCH: SEE NOTES
- TURF GRASS: SEE NOTES
- BALLED & BURLAPPED CONIFEROUS TREE W/ MULCH RING
- BALLED & BURLAPPED TREE W/ MULCH RING
- CONTAINER DECIDUOUS SHRUB
- LANDSCAPE BOULDER SETTING

PLANTING SCHEDULE

CONIFEROUS TREES					
QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES/SPACING
0	PGLD	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8" TALL	SPECIMEN, B&B
0	PIPO	PONDEROSA PINE	PINUS PONDEROSA	6'-8" TALL	SPECIMEN, B&B
DECIDUOUS TREES					
QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES/SPACING
2	HWM	HOT WING MAPLE	ACER TATARICUM 'HOT WING'	2.0" CAL	SPECIMEN, B&B
3	RDMLN	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2.0" CAL	SPECIMEN, B&B
2	TAMB	BOULEVARD LINDEN	TILIA AMERICANA 'BOULEVARD'	2.0" CAL	SPECIMEN, B&B
3	SKLHN	SKYLINE HONEY LOCUST	GLEDITSIA 'TRICANTHOS SKYCOLE'	2.0" CAL	SPECIMEN, B&B
ORNAMENTAL TREES					
2	MALUS	SPRING SNOW CRAB	MALUS 'SPRING SNOW'	2.0" CAL	SPECIMEN, B&B
DECIDUOUS SHRUBS					
25	ORPB	ORANGE ROCKET PILLER BARBERRY	BERBERIS THUNBERGII 'ORANG ROCKET'	2 GAL	3'-0" O.C.
11	NFSPR	NEON FLASH SPIREA	SPIRAEA JAPONICA 'NEON FLASH'	2 GAL	4'-0" O.C.
10	STBLA	ANTHONY WATERER SPIREA	STRINGA X BUMALDA 'ANTHONY WATERER'	2 GAL	4'-0" O.C.
15	LMKWP	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	2 GAL	4'-0" O.C.
PERENNIALS					
0	ACHIL	PAPRIKA YARROW	ACHILLEA 'PAPRIKA'	1 GAL	2'-0" O.C.
0	ASNOA	PURPLE DOME ASTER	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	1 GAL	3'-0" O.C.
0	CMACK	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL	3'-0" O.C.
20	DLPN	DAY LILLY PARDON ME	HEMEROCALLIS 'PARDON ME'	1 GAL	1'-0" O.C.

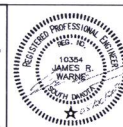
CITY OF RAPID CITY

Plans are reviewed for general conformance with applicable governmental regulations, specifications, design criteria and engineering standards. The City of Rapid City does not verify the accuracy, relevance or responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Reviewer: _____ DATE: _____

COMMENTS: _____

KEY MAP: _____



528 Kansas City, St. Louis, Mo. 64108
 314.437.7911 FAX 314.437.7911
 10354 JAMES J. WAPNER
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING / LAND PLANNING / CONSTRUCTION ADMINISTRATION

ARCHITECTURE
 DESIGN / BUILD
 RESTORATION
 DEVELOPMENT
 LEASING
 ACQUISITION
 613 MAIN ST #201
 RAPID CITY, SD 57701
 605.348.6662

CONSTRUCTION DOCUMENTS
 PRO-MARK SERVICES, INC.
 RAPID CITY EXPANSION PROJECT
 LOT 22 MARLIN INDUSTRIAL PARK
 RAPID CITY, SD

BY: RHC
 DATE UPDATED:
 DATE PLOTTED: 10-26-2017

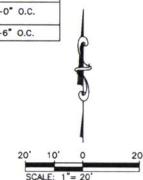
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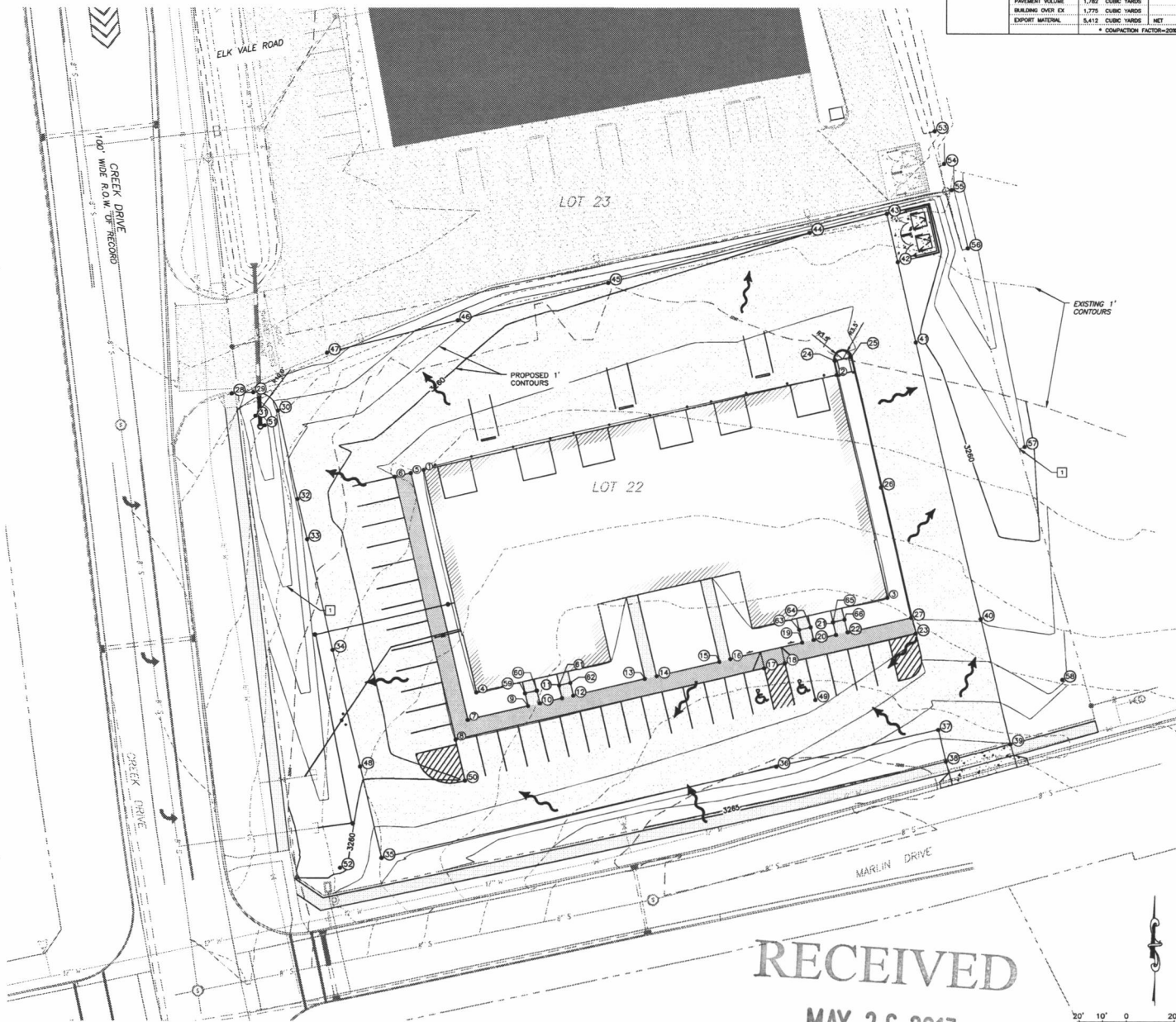
LANDSCAPE
 PLAN

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GRADING QUANTITIES TABLE				
1) PROPOSED SITE GRADING	SURFACE COMPARISON	3,541 CUBIC YARDS	CUT	
	SURFACE COMPARISON	572 CUBIC YARDS	FILL	
	PAVEMENT VOLUME	1,785 CUBIC YARDS		
	BUILDING OVER EX	1,775 CUBIC YARDS		
	EXPORT MATERIAL	5,412 CUBIC YARDS	NET	
			* COMPACTION FACTOR=20%	

KEY MAP

CITY OF RAPID CITY

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Engineering Reviewer _____ Date _____

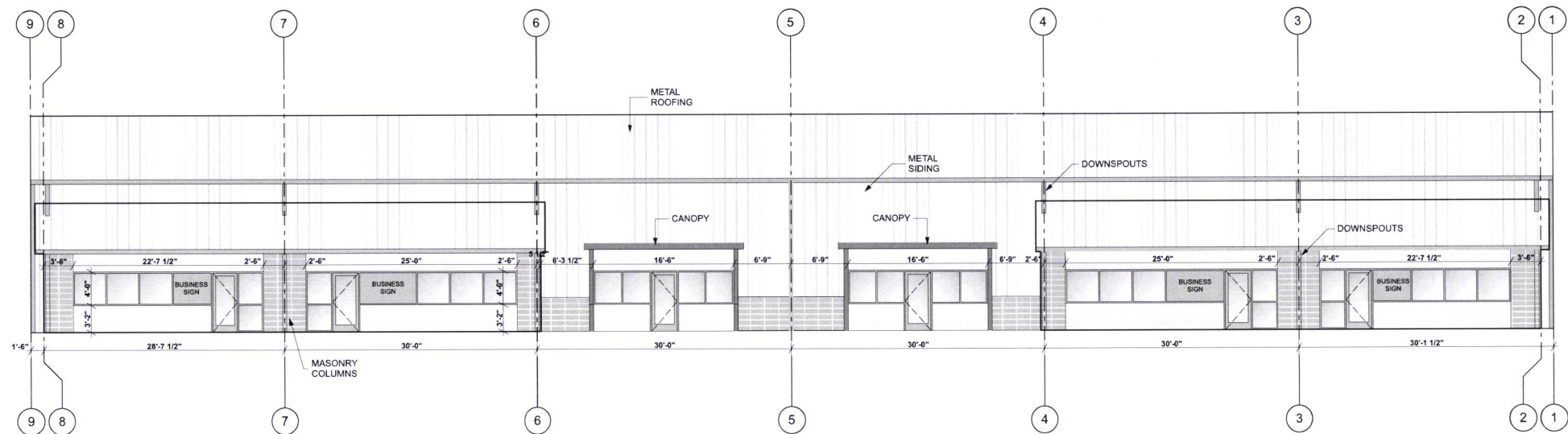
COMMENTS

NOTES:
ESTIMATED EARTHWORK VOLUMES ARE BASED ON EXISTING SURFACE TO PROPOSED SURFACE COMPARISON.
PROPOSED CONTOURS SHOWN ARE FINAL GRADE (TOP OF PAVEMENT OR TOP OF TOPSOIL).
CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

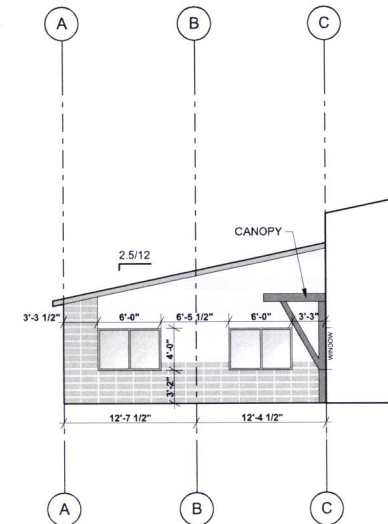
1) CONSTRUCT DRAINAGE SWALE PER DETAIL G ON SHEET C701

COORDINATE TABLE			
Point #	Northing	Easting	Elevation
1	49594.99	42853.82	3261.86
2	49535.47	42809.57	3262.00
3	49540.47	42830.89	3262.00
4	49500.20	42806.23	3262.00
5	49593.70	42828.32	3261.73
6	49592.13	42821.50	3261.47
7	49498.06	42822.04	3261.33
8	49490.19	42847.29	3261.33
9	49494.41	42877.83	3261.44
10	49495.03	42882.81	3261.44
11	49497.69	42892.19	3261.44
12	49498.81	42897.08	3261.44
13	49505.90	42727.81	3261.44
14	49507.01	42732.78	3261.44
15	49513.10	42759.18	3261.44
16	49514.22	42764.05	3261.44
17	49510.41	42778.86	3261.33
18	49512.43	42787.84	3261.33
19	49521.27	42794.89	3261.44
20	49522.40	42799.78	3261.44
21	49524.06	42809.14	3261.44
22	49525.87	42814.02	3261.44
23	49525.17	42843.14	3261.33
24	49641.42	42808.71	3261.74
25	49643.00	42815.53	3261.26
26	49587.45	42828.33	3261.35
27	49531.00	42841.13	3261.44
28	49527.73	42852.33	3261.44
29	49528.16	42861.48	3257.27
30	49520.39	42572.20	3258.33
31	49618.21	42562.42	3256.08
32	49582.89	42580.57	3259.54
33	49585.48	42584.54	3259.58
34	49518.29	42595.41	3259.59
35	49429.86	42815.78	3261.65
36	49488.47	42783.88	3262.04
37	49484.27	42852.64	3263.72
38	49470.67	42855.77	3264.74
39	49478.19	42882.77	3264.02
40	49531.43	42870.50	3260.94
41	49649.40	42843.29	3260.33
42	49653.52	42835.42	3260.16
43	49704.13	42850.07	3260.00
44	49598.05	42798.09	3259.99
45	49674.70	42712.28	3259.85
46	49598.83	42648.42	3258.73
47	49645.08	42593.10	3257.96
48	49488.68	42606.84	3259.71
49	49498.80	42800.44	3260.74
50	49482.80	42802.87	3260.00
51	49614.10	42566.46	3255.50
52	49425.78	42598.49	3259.84
53	49739.38	42851.07	3255.00
54	49725.43	42855.10	3255.97
55	49714.29	42856.33	3256.74
56	49698.52	42865.28	3257.00
57	49590.86	42868.81	3261.00
58	49505.81	42804.81	3261.00
59	49499.79	42876.70	3261.80
60	49500.91	42881.57	3261.80
61	49503.07	42890.86	3261.80
62	49504.20	42895.83	3261.90
63	49526.74	42763.64	3261.90
64	49527.86	42766.51	3261.90
65	49530.02	42807.89	3261.80
66	49531.14	42812.77	3261.80

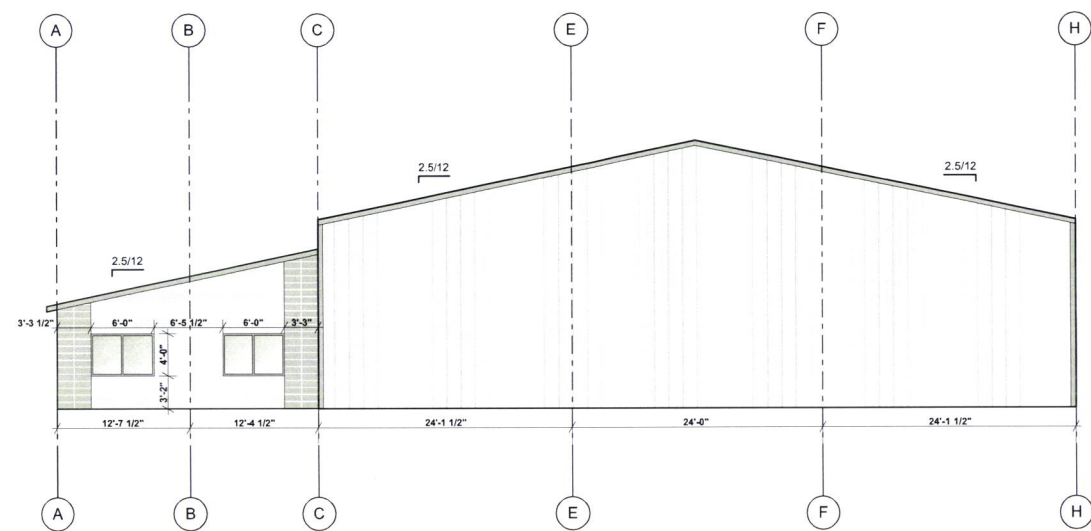
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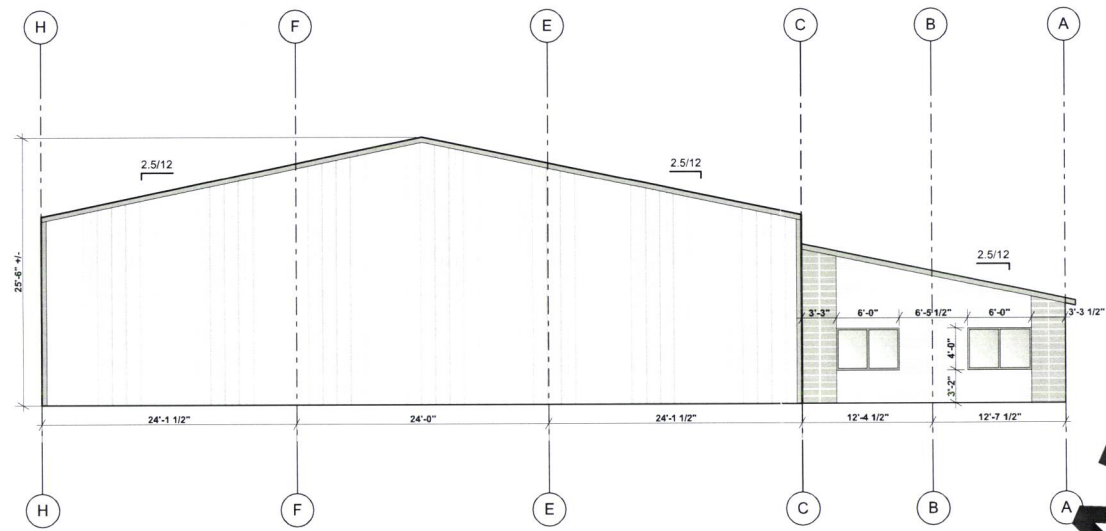
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



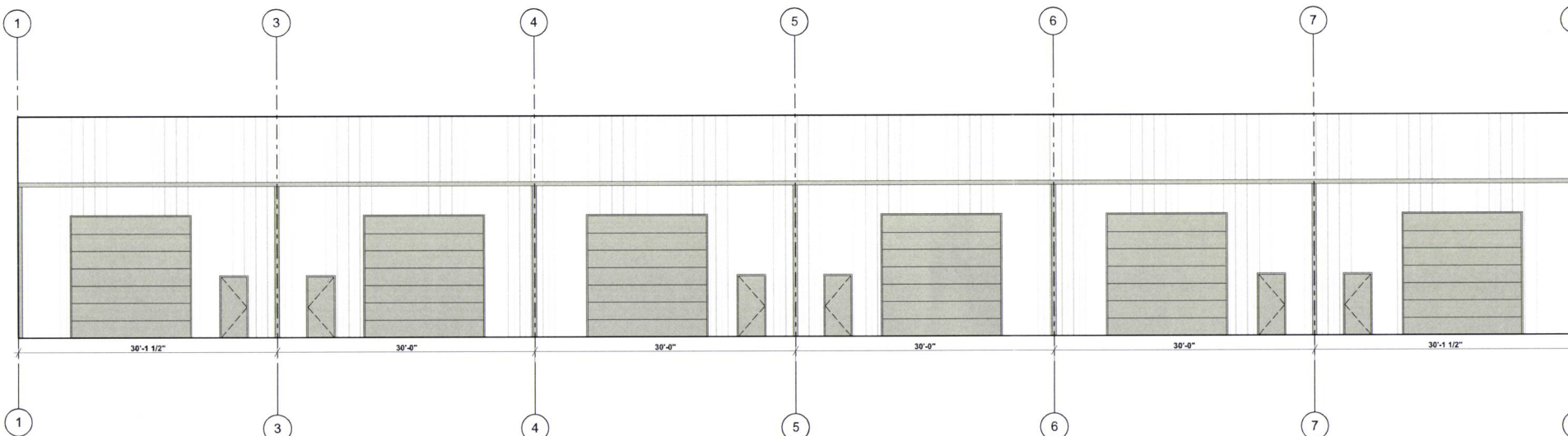
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES:

ROOFING:
TRIM:
WAREHOUSE SIDING:
OFFICE SIDING:
GUTTERS & DOWNSPOUTS:
STONE:

PRE-FINISHED METAL (B&C STEEL)
PRE-FINISHED METAL (B&C STEEL)
PRE-FINISHED METAL (B&C STEEL)
PRE-FINISHED METAL (DOWNSTEEL)
PRE-FINISHED METAL (DOWNSTEEL)
MODERRA MORTAR
INSTALLED PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

RELEASE AND HOLD HARMLESS

WITH THE USE OF THESE DOCUMENTS, THE OWNER, CONTRACTORS, AND SUPPLIERS ACKNOWLEDGE THAT THEY HAVE CAREFULLY REVIEWED AND STUDIED THESE DRAWINGS AND DETAILS, NOTES, SPECIFICATIONS AND THE FULL EXTENT OF THIS SET OF CONSTRUCTION DOCUMENTS. THEY ACKNOWLEDGE THAT THESE CONSTRUCTION DOCUMENTS ARE AT AN ACCEPTABLE LEVEL OF COMPLETENESS FOR THE PROJECT TO BE UNDER TAKEN. THE OWNER AGREES TO OBTAIN CONTRACTORS AND SUPPLIERS WHO ARE EXPERIENCED AND FULLY QUALIFIED TO CONSTRUCT THIS PROJECT. THE CONTRACTORS, BY USING THESE DOCUMENTS, ASSUME A RESPONSIBILITY TO PROVIDE ALL WORK NECESSARY (INCLUDING THE NEED FOR ANY ADDITIONAL STRUCTURAL, OR OTHER SYSTEM CONSULTING SERVICES WHICH THE CONTRACTOR MAY DEEM NECESSARY) TO COMPLETE THE PROJECT.

IT IS FULLY ACKNOWLEDGED BY THE OWNER, CONTRACTOR, AND SUPPLIERS THAT THE ARCHITECT PROVIDED A PROFESSIONAL ARCHITECTURAL SERVICE SUPPLEMENTAL TO THE OTHER PROVIDERS CONTRIBUTIONS. THE ARCHITECT'S DESIGN & CONSTRUCTION WILL BE PROVIDING A FULLY PRE-ENGINEERED BUILDING SYSTEMS FACTORY MANUFACTURED MATERIALS PACKAGE. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING THE SUITABILITY AND COMPLETENESS OF THESE AND ALL OTHER SYSTEMS.

THE OWNER AND CONTRACTOR AGREE TO INDEMNIFY THE ARCHITECT AND SAVE THE ARCHITECT HARMLESS AGAINST LOSS AND DAMAGE, INCLUDING ATTORNEYS FEES AND EXPENSED OF ANY KIND RESULTING FROM ANY AND ALL CLAIMS, DEMANDS, DAMAGES, ACTION, AND CAUSES OF ACTION WHICH ARE ASSERTED AGAINST THE ARCHITECT BY ANY PERSON OR PARTY AS A RESULT OF FAILURE TO PROVIDE CONSTRUCTION STABILITY (NOTE 21), FAILURE TO FOLLOW OR COMPLY WITH THE STRUCTURAL CODE REQUIREMENTS (NOTE 21), FAILURE TO USE A GEOTECHNICAL ENGINEER/STUDY AND/OR FOLLOW THE RECOMMENDATION OF A GEOTECHNICAL ENGINEER (NOTE 22), ANY SOIL PROBLEMS OR DEFECTS ENCOUNTERED AT THE SITE BEFORE, DURING, OR AFTER COMPLETION OF CONSTRUCTION, AND ANY STRUCTURAL INTEGRITY AND/OR STABILITY PROBLEMS OR DEFECTS IN THE STRUCTURE AND APURTENANCE (INCLUDING BUT NOT LIMITED TO DRIVEWAYS, RETAINING WALLS, AND LANDSCAPE WALLS) (NOTE 27).

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MEETING ALL PLANNING AND ZONING REQUIREMENTS AND THE RESTRICTIVE COVENANTS OF THE DEVELOPMENT.

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MAY 26 2017

RAPID CITY COMMUNITY PLANNING
& DEVELOPMENT SERVICES

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ARCHITECTURE

ARCHITECTURE
DESIGN/BUILD
RESTORATION
PLANNING &
DEVELOPMENT
LEE S. GEIGER
ARCHITECT
613 MAIN ST #201 RAPID CITY SD 57701 605.348.6062

CONSTRUCTION DOCUMENTS
NAME CROSSING
4624 CREEK DRIVE
RAPID CITY, SD

BY: TGW

DATE UPDATED: 6/22/16

DATE PLOTTED: 6/22/16

DATE PRINTED:

REVISIONS PRINTED:

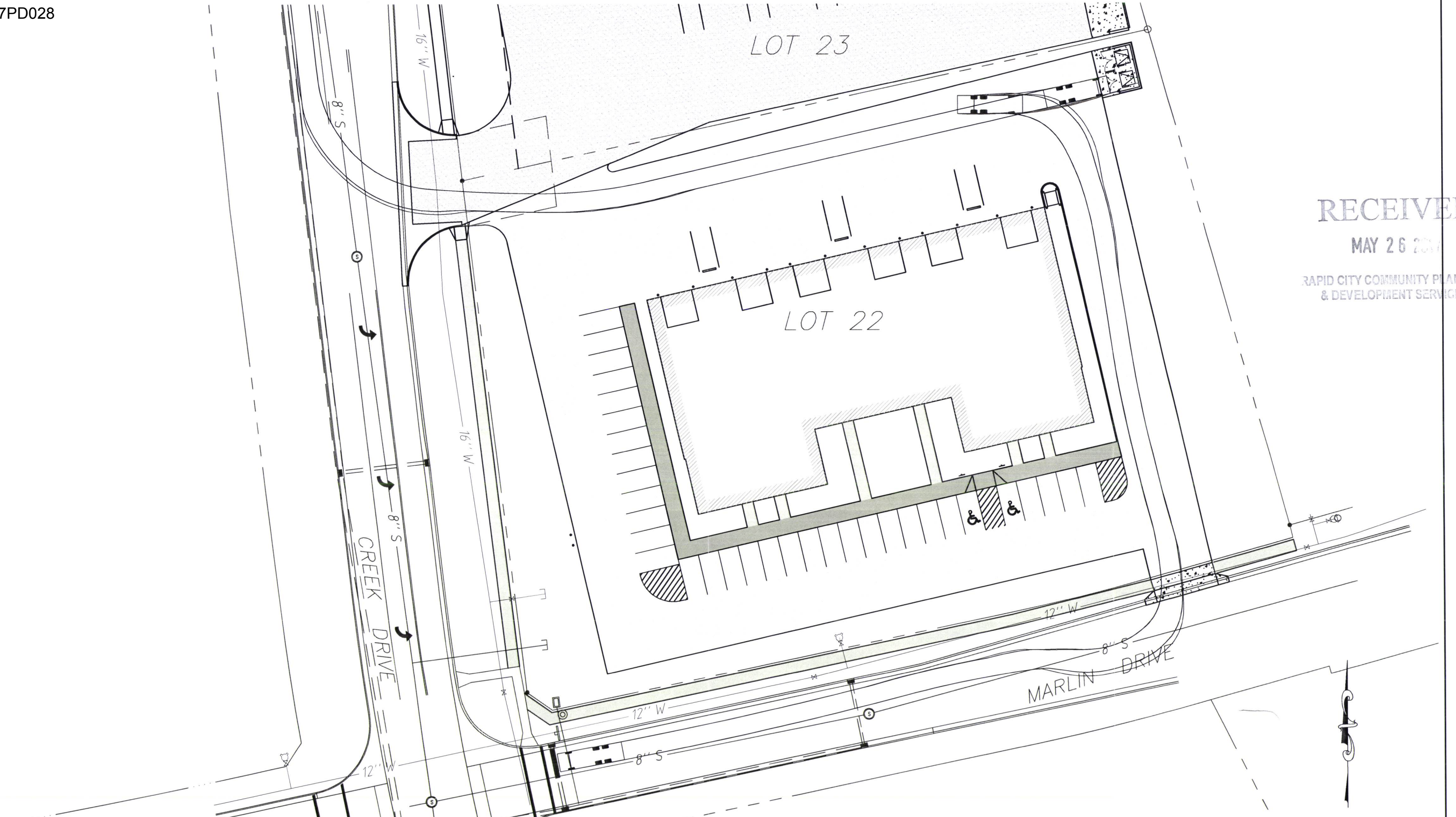
REVISION 1-

REVISION 2-

REVISION 3-

EXTERIOR
ELEVATIONS

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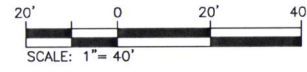
RAPID CITY COMMUNITY PLANNING
& DEVELOPMENT SERVICES



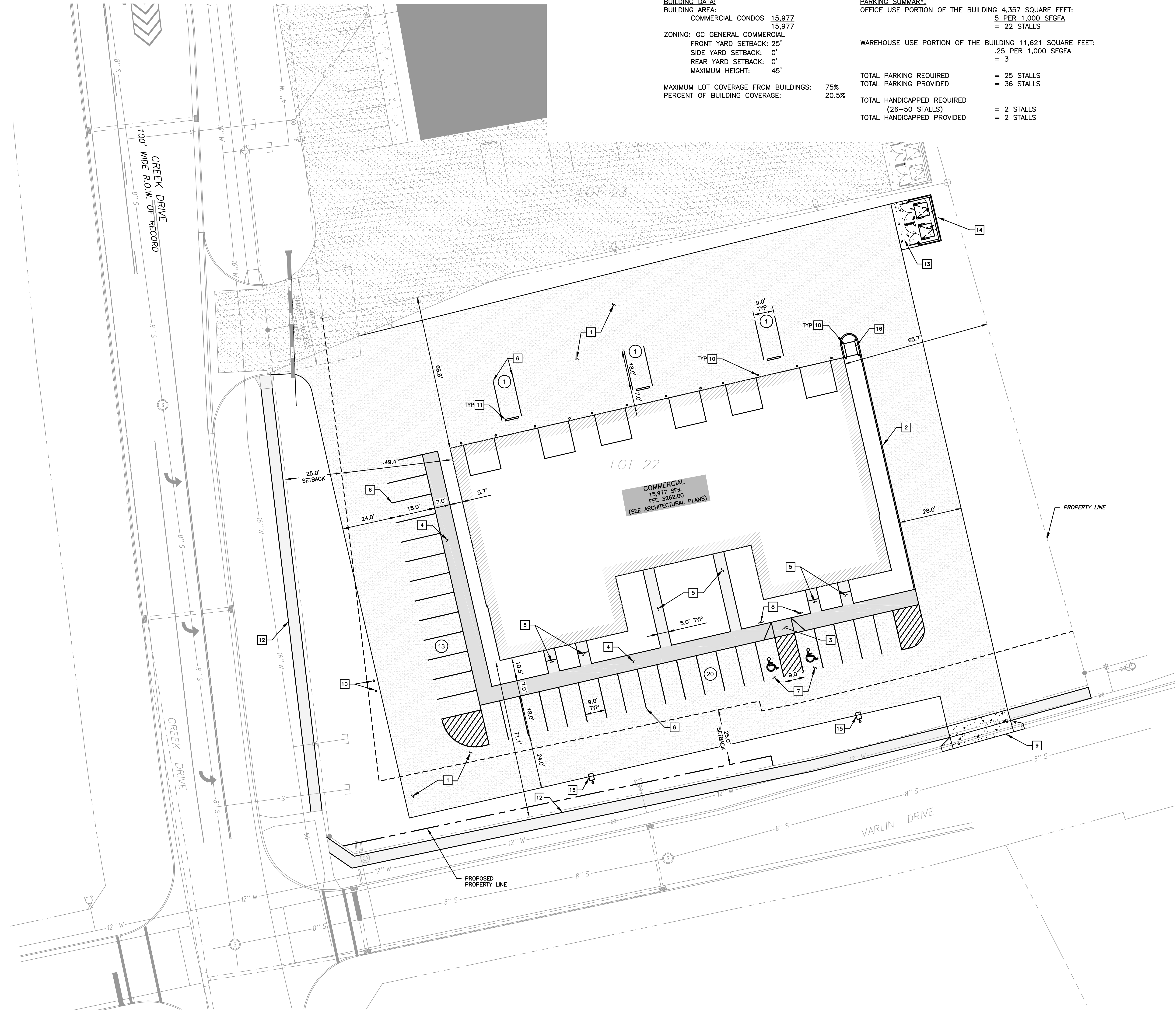
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Rapid City, SD 57701
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CIVIL ENGINEERING | LAND PLANNING | CONSTRUCTION ADMINISTRATION
www.ktmdesignsolutions.com

PRO-MARK SERVICES, INC.
RAPID CITY EXPANSION PROJECT
LOT 22, MARLIN INDUSTRIAL PARK
TURNING MOVEMENT EXHIBIT
MAY 26, 2017



PRELIMINARY
FOR REVIEW ONLY



BUILDING DATA:
BUILDING AREA: COMMERCIAL CONDOS 15,977
15,977
ZONING: GC GENERAL COMMERCIAL
FRONT YARD SETBACK: 25'
SIDE YARD SETBACK: 0'
REAR YARD SETBACK: 0'
MAXIMUM HEIGHT: 45'
MAXIMUM LOT COVERAGE FROM BUILDINGS: 75%
PERCENT OF BUILDING COVERAGE: 20.5%

PARKING SUMMARY:
OFFICE USE PORTION OF THE BUILDING 4,357 SQUARE FEET:
5 PER 1,000 SFGFA = 22 STALLS
WAREHOUSE USE PORTION OF THE BUILDING 11,621 SQUARE FEET:
25 PER 1,000 SFGFA = 3
TOTAL PARKING REQUIRED = 25 STALLS
TOTAL PARKING PROVIDED = 36 STALLS
TOTAL HANDICAPPED REQUIRED (26-50 STALLS) = 2 STALLS
TOTAL HANDICAPPED PROVIDED = 2 STALLS

ELK VALE ROAD
CREEK DRIVE
MARLIN DRIVE
KEY MAP

CITY OF RAPID CITY

Plans are reviewed for general conformance with applicable governmental regulations, stipulations, design criteria and engineering standards. The City of Rapid City does not certify the suitability, adequacy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Reviewer _____ Date _____

COMMENTS

REGISTERED PROFESSIONAL ENGINEER
RES. NO. 10354
JAMES R. WARNE
SOUTH DAKOTA
6/12/2017

528 Kansas City, St
Rapid City, SD 57701
[p] 605.791.5866
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KTM
DESIGN SOLUTIONS, INC.
CIVIL ENGINEERING | LAND PLANNING | CONSTRUCTION ADMINISTRATION

- NOTES:**
1. INSTALL ASPHALT PAVING PER DETAIL A ON SHEET C701
 2. INSTALL VERTICAL CURB & GUTTER PER DETAIL B SHEET C701
 3. INSTALL HANDICAP ACCESSIBLE RAMP PER DETAIL 61-5 ON SHEET C700
 4. INSTALL THICKENED EDGE SIDEWALK PER DETAIL C ON SHEET C701
 5. INSTALL SIDEWALK PER DETAIL 61-2 ON SHEET C700
 6. INSTALL 4" PAINTED WHITE PAVEMENT MARKING
 7. INSTALL HANDICAP PARKING SPACE PER DETAIL D ON SHEET C701
 8. INSTALL HANDICAP PARKING SIGN PER DETAIL E ON SHEET C701
 9. INSTALL CONCRETE DRIVEWAY PER DETAIL 60-3 ON SHEET C700
 10. INSTALL BOLLARDS PER DETAIL F ON SHEET C701
 11. INSTALL WHEEL STOP PER DETAIL H ON SHEET C701
 12. INSTALL 5" PROPERTY LINE SIDEWALK PER DETAIL 61-2 ON SHEET C700
 13. INSTALL DUMPSTER PAD PAVING PER DETAIL A ON SHEET C701
 14. INSTALL DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS
 15. INSTALL LIGHT PER ARCHITECTURAL/ELECTRICAL PLANS
 16. INSTALL ELECTRICAL TRANSFORMER PAD PER UTILITY COMPANY RECOMMENDATIONS

XX PARKING STALL COUNT

ASPHALT PAVING

CONCRETE PAVING

STANDARD SIDEWALK

THICKENED EDGE SIDEWALK

20' 10' 0 20'

SCALE: 1"= 20'

North Arrow

GEIGER
ARCHITECTURE

ARCHITECTURE
DESIGN / BUILD
RESTORATION &
PLANNING
DEVELOPMENT
LEE S GEIGER
ARCHITECT
613 MAIN ST #201
RAPID CITY SD 57701
605.348.6062

CONSTRUCTION DOCUMENTS
PRO-MARK SERVICES, INC.
RAPID CITY EXPANSION PROJECT
LOT 22 MARLIN INDUSTRIAL PARK
RAPID CITY, SD

BY JRW
DATE UPDATED
DATE PLOTTED 05-26-2017

DATE PRINTED --
REVISIONS PRINTED
REVISION 1-
REVISION 2-
REVISION 3-

PROJECT
OVERVIEW

C300