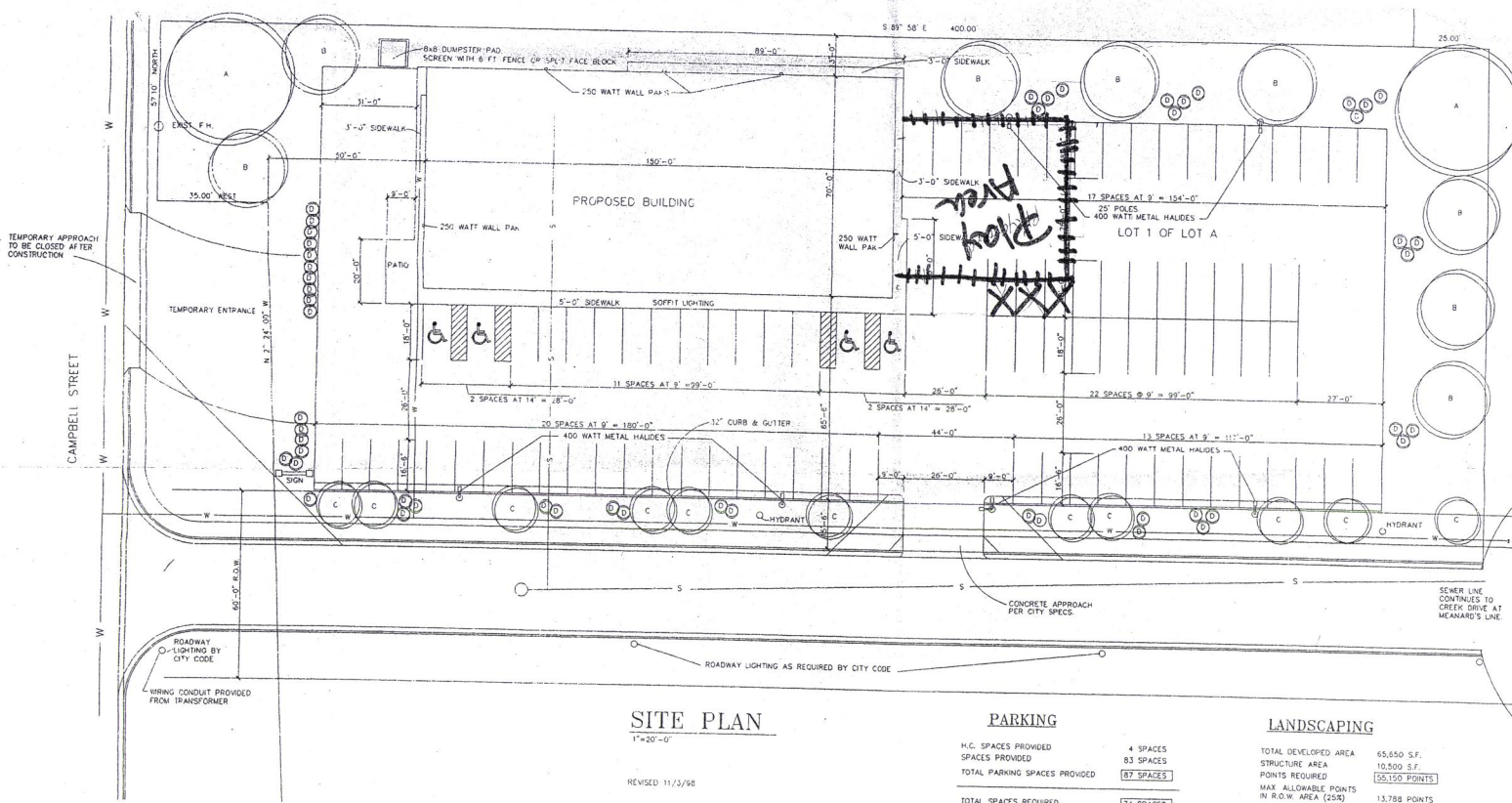


Case No. 16PD064

Legal Description:

Lot 1 of Lot A of DDE Subdivision, located in Section 32, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota



- * We will be mitigating the impact of parking area by using a privacy fence facing Jess St.
- * Chainlink fencing will be used to provide for breeze & fresh air on the remaining portion of the fencing.
- * Potted plants will be used around the area of the playground. We will build an area around the playground where there can be flowers etc. planted
- * There will be a "garden area" in the play space where children can plant flowers and vegetables.
- * 2 inches of mulch will be placed over concrete as a cushion, ~~over~~ shredded tire.
- * In addition to a garden in the play area, there will be hanging potted plants and flowers.
- * There will be ~~two~~ large outdoor umbrellas provided for shade

SITE PLAN
1"=20'-0"

REVISED 11/3/98

PARKING

H.C. SPACES PROVIDED	4 SPACES
SPACES PROVIDED	83 SPACES
TOTAL PARKING SPACES PROVIDED	87 SPACES
TOTAL SPACES REQUIRED	74 SPACES

LANDSCAPING

TOTAL DEVELOPED AREA	55,650 S.F.
STRUCTURE AREA	10,500 S.F.
POINTS REQUIRED	55,150 POINTS
MAX ALLOWABLE POINTS IN R.O.W. AREA (25%)	13,788 POINTS
POINTS IN RIGHT OF WAY	
11 SMALL TREES "C"	5,500 POINTS
17 SHRUBS "D"	4,250 POINTS
GRASS (339 S.Y.)	3,990 POINTS
POINTS PROVIDED	13,740 POINTS
TOTAL POINTS ON SITE	
2 LARGE TREES "A"	4,000 POINTS
8 MEDIUM TREES "B"	8,000 POINTS
11 SMALL TREES "C"	5,500 POINTS
50 SHRUBS "D"	12,500 POINTS
GRASS (2,519 S.Y.)	25,390 POINTS
TOTAL POINTS PROVIDED	55,390 POINTS

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Rapid City Growth Management Department

DESCRIPTION OF IMPROVEMENTS – “AS COMPLETE”

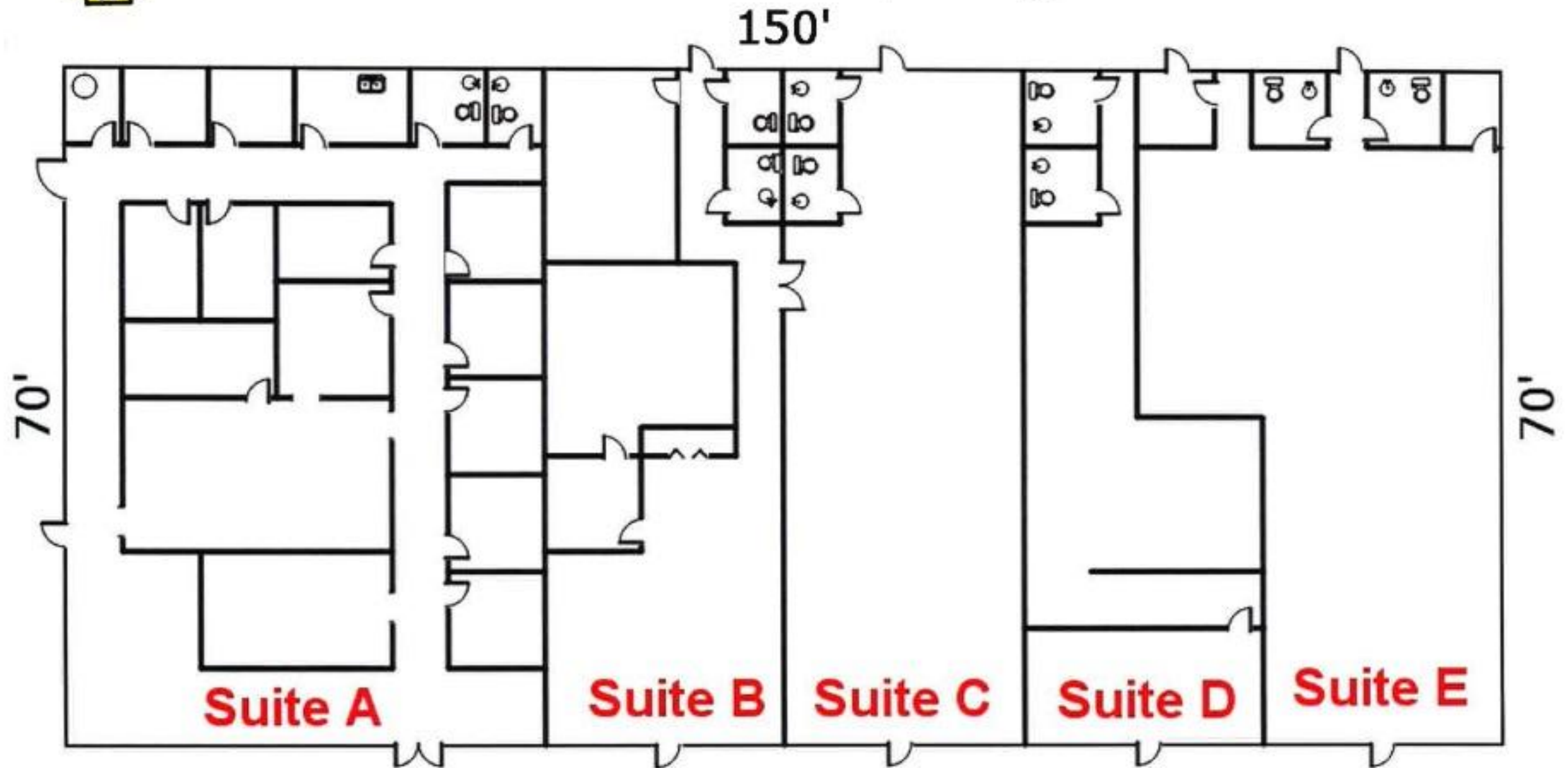
DATE OF CONSTRUCTION	- 1999 (County Records)
CONSTRUCTION TYPE	- Class C – Masonry Block
BUILDING DESIGN	- One-Story Building
BUILDING UTILITY	- 5 Bay Neighborhood Strip
BUILDING DIMENSIONS	- 70' X 150'
GROSS BUILDING AREA	- 10,500 SF
BUILDING PERIMETER	- 440'
BUILDING QUALITY	- Average
BUILDING CONDITION	- Average to Good
BUILDING OCCUPANTS	- Suite A * 3,500 SF * <i>Children's Therapy Services</i> - Suite B * 1,750 SF * <i>Journey Church</i> - Suite C * 1,750 SF * <i>Journey Church</i> - Suite D * 1,280 SF * <i>EZ Money</i> - Suite E * 2,220 SF * Turn-Key Ready For Rent
ADA ACCESSIBLE	- Yes (Assumption)
SPRINKLER SYSTEM	- Yes
2016 ASSESSED VALUE	- \$447,900 or \$45.51/SF (Improvements Only)
REAL ESTATE TAXES	- \$8,453 or \$.80/SF (Improvements Only)
IMPLIED TAX RATE	- .018873

ITEM	DESCRIPTION
Footings	- Poured Reinforced Concrete to Specs
Foundation	- Poured Reinforced Concrete to Specs
Floor Structure	- Poured Reinforced Concrete Slab
Frame (Building)	- Masonry Block
Frame (Roof)	- Steel Truss * Single Pitch * Steel Finish
Exterior Insulation (Walls)	- Rigid Foam Insulation (Assumption)
Exterior Insulation (Roof)	- Foil Backed Celotex (Assumption)
Floor Covering	- Carpeting * Vinyl Tile * Ceramic Tile
Interior Structure	- Steel Studs * Wood Studs (Assumption)
Interior Finish	- 5/8" Textured and Painted Drywall
Exterior Wall Finish	- E.F.I.S. (Façade) * Painted Block
Eave Height	- 11' to 12'
Entrance Doors	- 5 – 3' X 7' <i>Kawneer</i> Full-View Doors
Service Doors	- 5 - 3' X 7' Steel Core Doors
Windows	- <i>Kawneer</i> * Double-Pane * Fixed Windows
Façade Canopies	- Lighted * Canvas Composition
Electrical Service	- Two 400 AMP Services * Six Meters
Plumbing	- Ten 2-Fixture Restrooms * Kitchen
Water Heaters	- 1 - 40 Gallon Natural Gas Water Heater (Suite A) - 4 - 5 Gallon Electric (Ceiling Mounted) - 6 - Roof Mounted H.V.A.C. Units
Heating/Air Conditioning	- Yes (Wall Mounted)
Exterior Security Lighting	- Gutters and Downspouts on North Wall
Roof Drainage	- Owner Indicated That All H.V.A.C. Units Worked - Owner Indicated That Roof Did Not Leak - Owner Indicated That He Spent \$50,000 In Repairs Since 2015 Purchase (Roof * Exterior Paint)
Remarks	

Cambell Street Mall



110 North Cambell Street * Rapid City, South Dakota



Suite A = 3,500 SF

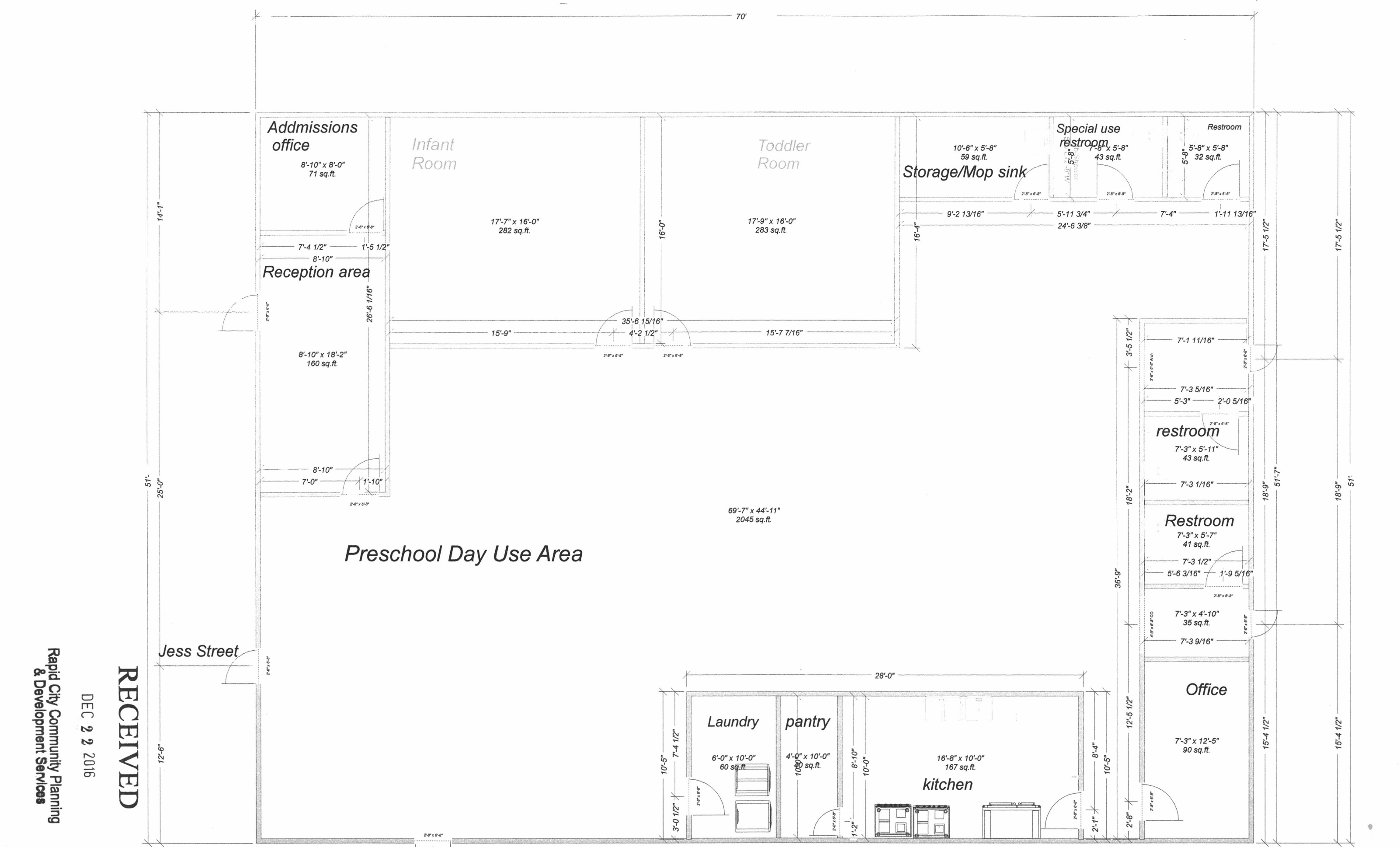
Suite B = 1,750 SF

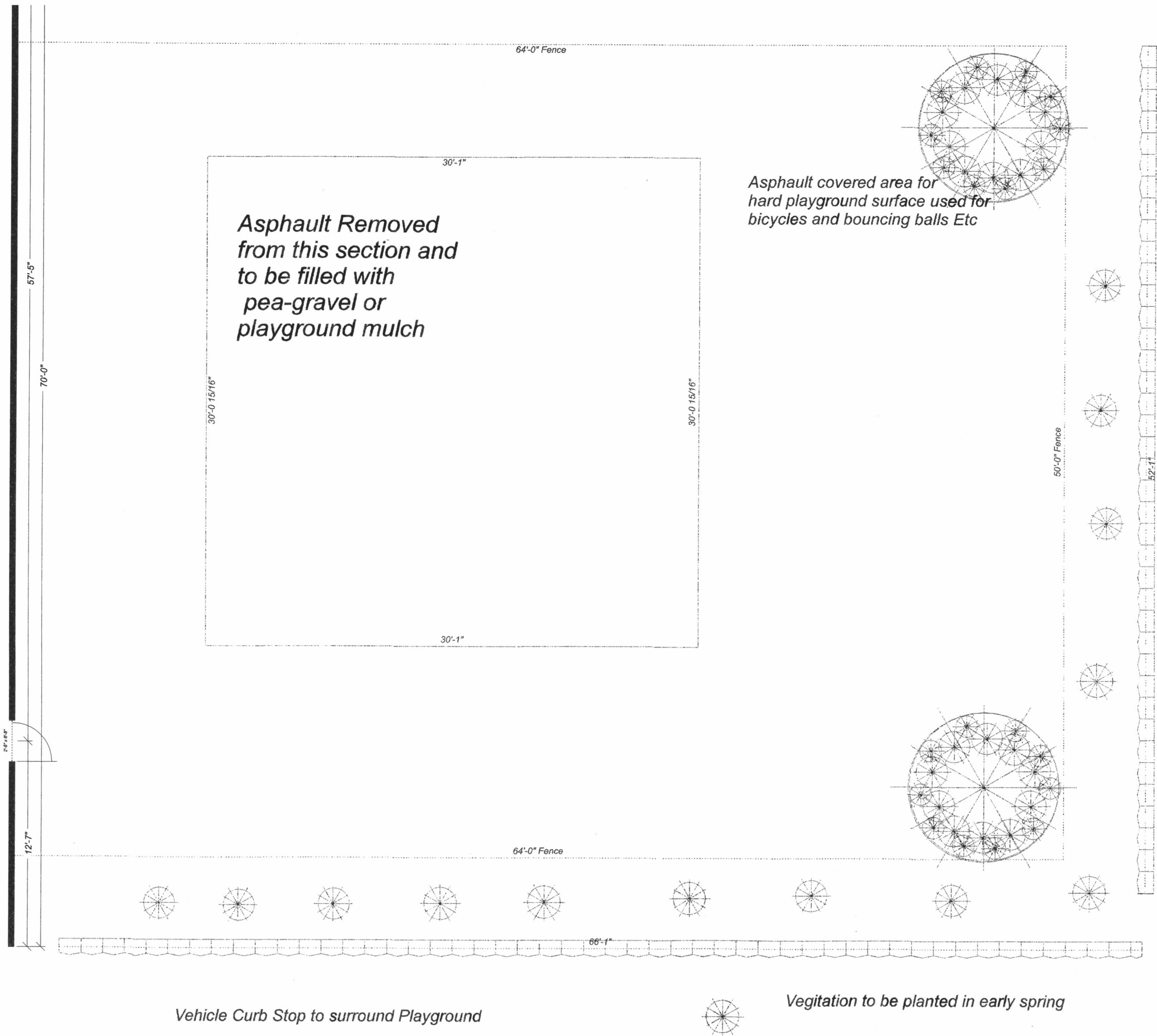
Suite C = 1,750 SF

Suite D = 1,280 SF

Suite E = 2,220 SF

GBA = 10,500 SF





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Business Plan Proposal for
Little Owl's Daycare and Preschool
(Parent Company Children's Therapy Services)

**RAPID CITY COMMUNITY PLANNING
& DEVELOPMENT SERVICES**

Address of Proposed Site: **110 N Campbell St Suite D and E**

Rapid City, SD 57703

It is purposed to the city of Rapid City, South Dakota that Children's Therapy Services develop a daycare and preschool program in the D and E Suites of the Campbell Street Mall.

There will be 2 designated parking spaces for dropping off children and picking them up. This building has over 70 parking spaces available so more than 10 will be reserved for the program. (Please see diagram listing parking spaces for each suite) It should be noted that the church in B and C only worships on Saturday night, after business hours. Otherwise, they are rarely in that space.

With the understanding that a "strip mall" is generally not something that the city would like to see a childcare program in, this is actually an ideal spot for a child care center. With Children's Therapy Services being an anchor established entity, a church occupying the space between, and then the proposed program in the remaining 3500 square feet, I feel this is a safe and child friendly environment. If the church would decide to terminate their lease, Children's Therapy Services or Little Owl's Daycare and Preschool would likely move into that space. If that was not an option, as the owner of the building, it would be at my discretion what renter would occupy that space. It would have to be a family friendly company that is providing a related service. I would not allow retail alcohol or tobacco sales or anything that would take away from the environment and perception of our Mission Statement for both Children's Therapy Services and Little Owl's Daycare and Preschool.

It should also be noted that there are very few child care centers in the Rapid Valley area. This program would fill a much needed void in that area.

Little Owl's Daycare and Preschool will employ the state required staff for the program with the child to staff ratio appropriate for the children's ages. Staff will be required to

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RAPID CITY COMMUNITY PLANNING
& DEVELOPMENT SERVICES

obtain a background check and a drug screen prior to any employment with the program. Volunteers will also be required to perform a background check and a drug test.

Little Owl's Daycare and Preschool will carry liability insurance, workman's comp insurance and a business umbrella plan.

Little's Owls Daycare and Preschool will be contained in a 3500 square foot area. Babies up to 1 year old will be watched in a separate room.

From the ages of one to three, those children will also be taken care of in another, separate room.

With the remainder of the square feet (please see plans), Little Owl's will provide Preschool to children from the ages of 3 to 6.

It is proposed that Little Owl's would provide services to 60 children.

There is a proposed 3,200 square foot outdoor, 5 foot fenced in playground for the children to have access to. While there is currently concrete in the area, the program will put down a cushioning material of either recycled tires or mulch. We plan to mitigate the impact of the parking lot by providing green space for the children, such a garden for them to care for and potted flowers. The fencing facing Jess Street will be privacy fencing and along the side will be chain link to allow for a breeze a fresh air. If the program is successful, there will be plans to remove the existing concrete and put in grass and landscaping.

All signage will meet the city code with no LED message centers.

Little Owl's Daycare and Preschool will comply with all city and state guidelines in regards to childcare for 21 or more children.

Meals will be prepared on sight. There will be breakfast and lunch provided. Snacks will be available throughout the day.

Proposed business hours for the program will be 7:30 am to 6:00 pm, Monday through Friday.

Little Owl's will be in full compliance with the state and city laws regarding the fire codes. (Please see attached estimate)

Little Owl's will put security cameras in every room of the facility so that management is able to observe areas all at one time. Parents will be able to access the cameras with their own smart phones so they may check in on their child's activity at any given time. Many parents enjoy this option of being able to check in on their children while they are

at work. As an added security, anyone entering the building will be required to "ring the bell" where they will be viewed on camera and will be allowed in if they are on the list of people who are allowed to pick up children.

Little Owl's emphasis is on early intervention strategies for all children, including those with special needs. With Children's Therapy Services being in suite A, our therapy staff (which includes Physical, Occupational and Speech therapists) will be able to address the needs of children easily and within the child's environment, which is ideal for early learning. By providing these services at such a young age, we are able to ensure that the child is successful throughout their learning career.

For those children who do not require early intervention one on one services, Children's Therapy Staff will offer group times for things such as sensory integration, handwriting programs, self-awareness, and social skills, just to name a few.

I have spoken with Youth and Family Services, United Way and other daycare and preschool facilities in Rapid City regarding this project. Every professional I have spoken to agrees that this is a wonderful idea and there is a great need in the community for this sort of facility and the services that we will be able to provide with two companies working together for the same cause.

I have spoken with family members of children with and without special needs children. The response has been fantastic with many people awaiting our opening.

I believe that Rapid City has a very large need for early intervention programs and that this program will become the flagship for community awareness of early intervention strategies for children of all abilities.

I appreciate the city taking the time to review our plans and our business proposal and I am hopeful that this will be approved as soon as possible so that we can start making changes in the lives of children and families in Rapid City!

Thank you,

Justin Casey, Owner

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