

Case No. 16PD065

Legal Description:

Lot 6 and Lot 7 of Block 1 of Menard Subdivision, located in Section 32, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota

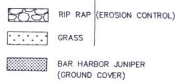
RE-SEEDING SPECIFICATIONS (NON-IRRIGATED LAWN MIX)

AREAS RECEIVING TOPSOIL SHALL BE RE-SEEDING AS PER THE 2007 REVISIONS OF THE CITY OF RAPID CITY STANDARD SPECIFICATIONS, SECTIONS 70, 71, AND 72. SEED MIXTURE AND APPLICATION RATES FOR SEED, FERTILIZER, AND MULCH SHALL BE AS FOLLOWS:

SEED MIXTURE:	SPECIES	APPLICATION (PLS)
	BLUE FESCUE	40 LB/ACRE
	CREeping RED FESCUE	40 LB/ACRE
	HARD FESCUE	40 LB/ACRE
	PERENNIAL RYEGRASS	20 LB/ACRE
	NATIVE KENTUCKY BLUEGRASS	20 LB/ACRE
FERTILIZER:	18-46-0	200 LB/ACRE
	HAY MULCH	2 TONS/ACRE

AFTER SEED, FERTILIZER, AND MULCH HAVE BEEN PLACED, IT SHALL BE WATERED TO PROVIDE A MOIST CONDITION THROUGH THE MULCH AS WELL AS INTO THE UNDERLYING SOIL BED.

FOR A PERIOD OF THREE WEEKS AFTER SEEDING AND INITIAL WATERING, THE CONTRACTOR SHALL APPLY ADEQUATE WATER TO INSURE PROPER GERMINATION OF THE SEED AND GROWTH OF THE GRASS.



TOTAL DEVELOPED AREA - LOT 6

TOTAL LOT AREA	= 50,094 Sq. Ft.
BUILDING AREA	= 5,183 Sq. Ft.
LOT COVERAGE	= 10.3%

LANDSCAPING POINT REQUIREMENTS - LOT 6

50,094 Sq. Ft.	TOTAL LOT AREA
5,183 Sq. Ft.	BUILDING AREA
44,911	POINTS REQUIRED

LANDSCAPING POINTS PROVIDED - LOT 6

3,410.1 Sq.Yd @ 10 pts/Sq.Yd = 34,101 pts	(GRASS - SITE)
135.67 Sq.Yd @ 100 pts/Sq.Yd = 13,567 pts	(BAR HARBOR JUNIPER - SITE)
135.67 Sq.Yd @ 100 pts/Sq.Yd = 13,567 pts	(BAR HARBOR JUNIPER - R.O.W.)
15 @ 250 pts/Ea = 3,750 pts	(SHRUB - SITE)
2 @ 2,000 pts/Ea = 4,000 pts	(SILVER MAPLE - SITE)
	68,985 pts PROVIDED POINTS

TOTAL DEVELOPED AREA - LOT 7

TOTAL LOT AREA	= 122,404 Sq. Ft.
BUILDING AREA	= 15,550 Sq. Ft.
LOT COVERAGE	= 12.7%

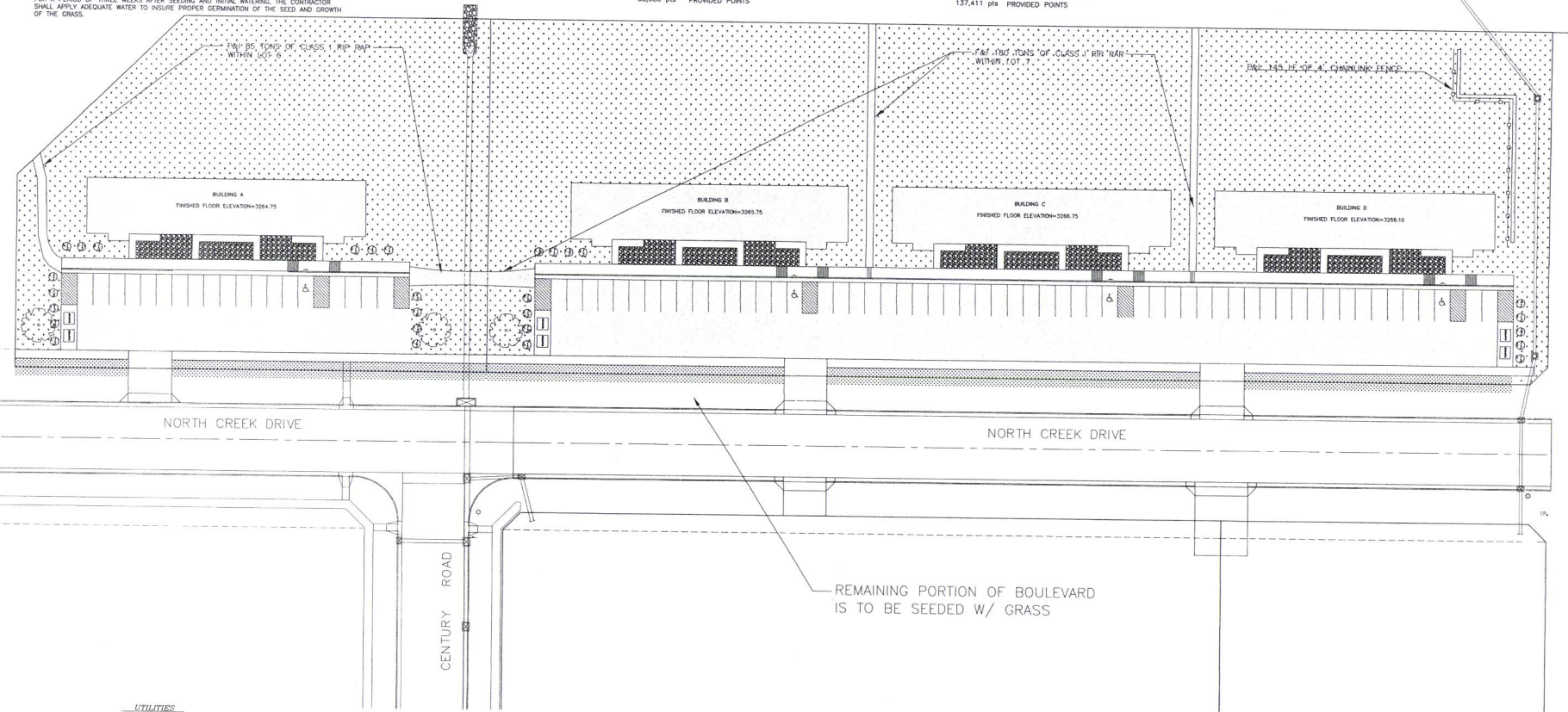
LANDSCAPING POINT REQUIREMENTS - LOT 7

122,404 Sq. Ft.	TOTAL LOT AREA
15,550 Sq. Ft.	BUILDING AREA
106,854	POINTS REQUIRED

LANDSCAPING POINTS PROVIDED - LOT 7

7,258.3 Sq.Yd @ 10 pts/Sq.Yd = 72,583 pts	(GRASS - SITE)
297.89 Sq.Yd @ 100 pts/Sq.Yd = 29,789 pts	(BAR HARBOR JUNIPER - SITE)
297.89 Sq.Yd @ 100 pts/Sq.Yd = 29,789 pts	(BAR HARBOR JUNIPER - R.O.W.)
13 @ 250 pts/Ea = 3,250 pts	(SHRUB - SITE)
1 @ 2,000 pts/Ea = 2,000 pts	(SILVER MAPLE - SITE)
	137,411 pts PROVIDED POINTS

F&E: 487 SY OF RIVER ROCK (2" MAX DIAMETER W/ FABRIC)
F&E: 285 TONS OF CLASS 1 RIP RAP
F&E: 145 LF OF 4" HIGH CHAINLINK FENCE (EPOXY COATED BLACK)

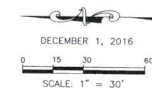


REMAINING PORTION OF BOULEVARD IS TO BE SEEDING W/ GRASS

UTILITIES

LOCATE UTILITIES: SOUTH DAKOTA ONE CALL
115 Evergreen Heights Drive
Pittsburgh, PA 15229
(800) 781-3434

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNERS OR THEIR REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



CITY OF RAPID CITY
Plans are reviewed for general conformance with applicable governmental regulations, design criteria and engineering standards. The City of Rapid City does not certify the suitability, adequacy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Reviewer _____ Date _____
Comments _____



REVISIONS	DATE	REVISION

LEGAL DESCRIPTION:
LOT 6 & 7, SUBDIVISION
LOCATED IN THE NE1/4 OF THE SW1/4
SECTION 10, T22N, R10E, S20E, SD60
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA
SUBMITTED BY: SD
DRAFTED BY: PML

LANDSCAPING PLAN
LOT 6 & 7 MENARD SUBDIVISION

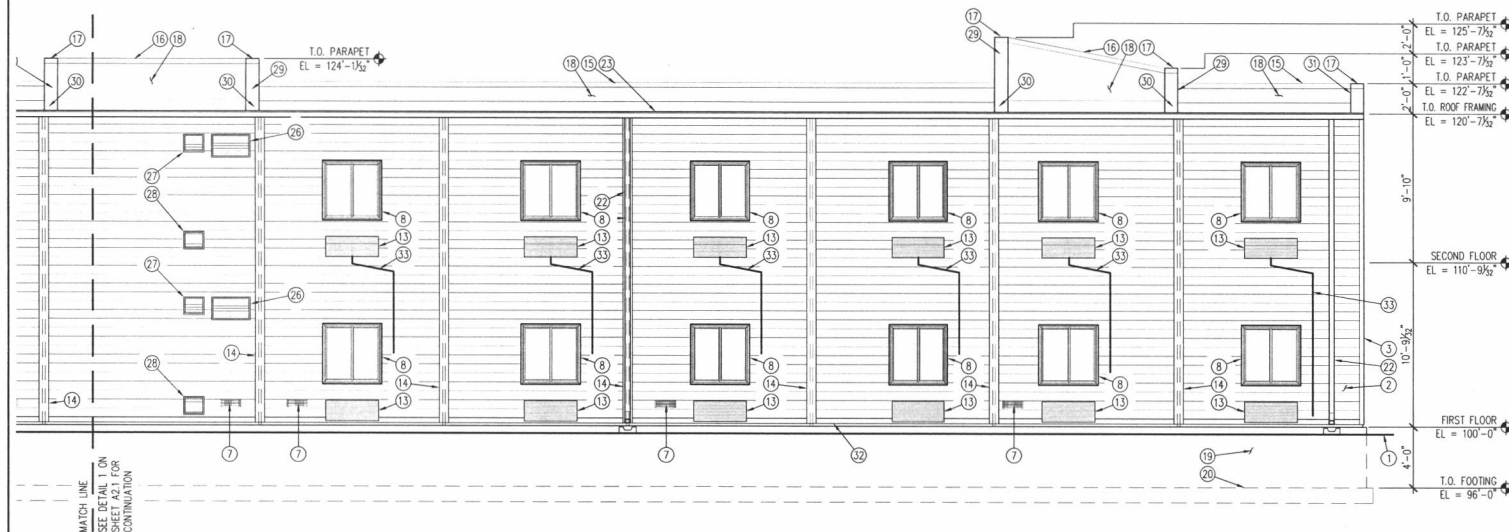
PROJECT NUMBER 3513
SHEET C.12

SPERLICH
Consulting, Inc.
821 Columbia St., Suite 200
Rapid City, SD 57701
TEL: (605) 721-4040 FAX: (605) 721-4040
E: info@sperrylich.com
www.sperrylich.com



1 PARTIAL WEST BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



2 PARTIAL WEST BUILDING ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES:

- GRADE LINE. SLOPE AWAY FROM BUILDING.
- 3/4" THICK x 7/8" (6" WIDE EXPOSURE) PRE-FINISHED HARD-PLANK LAP SIDING. EACH BUILDING SHALL BE A DIFFERENT COLOR. COLORS TO BE USED SHALL BE "EVENING BLUE", "CHESTNUT BROWN", "MOUNTAIN SAGE", & "COUNTRYLANE RED".
- PRE-FINISHED HARD-BOARD TRIM. COLOR TO MATCH LAP SIDING. SEE DETAIL 3 ON SHEET A3.6
- 24 GAUGE ZINC ALUMINE BOX RIB METAL SIDING.
- 24 GAUGE OUTSIDE METAL CORNER TRIM. SEE DETAIL 3 ON SHEET A3.6.
- 16" x 6" GALVANIZED SCREEN VENT. SEE DETAIL 4 ON SHEET A1.3.
- 16" x 6" GALVANIZED SCREEN VENT. SEE DETAIL 3 ON SHEET A1.3.
- 48" x 48" DOUBLE PANE HORIZONTAL SLIDING WINDOW. JELD-WEN, "V4500 SERIES". WINDOW SHALL COMPLY W/ EGRESS REQUIREMENTS PER CODE.
- 60" x 48" DOUBLE PANE HORIZONTAL SLIDING WINDOW. JELD-WEN, "V4500 SERIES". WINDOW SHALL COMPLY W/ EGRESS REQUIREMENTS PER CODE.
- 3'-0" x 6'-0" FIBERGLASS, FLUSH PRE-HUNG DOOR & FRAME W/ WINDOW PREP HOLE.
- PTAC UNIT. SEE DETAILS 5 & 6 ON SHEET A3.5.
- PTAC UNIT. SEE DETAILS 1 & 2 ON SHEET A3.5.
- PTAC UNIT. SEE DETAILS 3 & 4 ON SHEET A3.5.
- 1x8 WOOD TRIM PAINTED TO MATCH SIDING.
- PRE-FINISHED METAL COPING. SEE DETAIL 4 ON SHEET A3.4.
- PRE-FINISHED METAL COPING. SEE DETAIL 3 ON SHEET A3.4.
- PRE-FINISHED METAL COPING END CAP.
- 45 MIL EPDM ROOF MEMBRANE.
- CONCRETE FOUNDATION WALL SHOWN DASHED. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONCRETE FOOTING SHOWN DASHED. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EPDM ROOFING TERMINATION BAR.
- 4" x 4" SQUARE 24 GAUGE ZINC ALUMINE METAL DOWNSPOUTS W/ TERMINATION DISCHARGE ELBOW AT BOTTOM. PROVIDE A CONCRETE SPLASH BLOCK AT EACH DOWNSPOUT & SLOPE AWAY FROM BUILDING. FASTEN DOWNSPOUTS W/ 1" WIDE "U" BRACKETS @ 4'-0" O.C.
- 24 GAUGE ZINC ALUMINE PRE-FINISHED METAL CONTINUOUS GUTTER. SEE DETAIL 11 ON SHEET A3.5.
- 26 GAUGE PRE-FINISHED METAL CORRUGATED COUNTRY RUSTIC CANOPY ROOF PANEL.
- TREK COMPOSITE DECKING.
- LOUVER LV-1. MOUNT TOP OF LOUVER @ 8'-4" A.F.F. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- LOUVER LV-2. MOUNT TOP OF LOUVER @ 8'-4" A.F.F. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- LOUVER LV-2. MOUNT TOP OF LOUVER @ 1'-11" A.F.F. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PARAPET END WALL. SEE DETAIL 11 ON SHEET A3.6.
- PARAPET END WALL. SEE DETAIL 12 ON SHEET A3.6.
- PARAPET END WALL. SEE DETAIL 13 ON SHEET A3.6.
- FOUNDATION WALL. SEE DETAIL 7 ON SHEET A3.5.
- EXTEND CONDENSATE DRAIN LINE TO GRADE.



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Nielsen, Mayne Architecture
1010 S. 120th Street, Suite 205, Omaha, Nebraska 68144-4211

VISTA RIDGE APARTMENTS
PHASE 1 - LOTS 6 & 7 OF BLOCK 1
MENARD SUBDIVISION
SOUTH DAKOTA
RAPID CITY.

EXTERIOR ELEVATIONS

REVISIONS

PROJECT NUMBER

1615

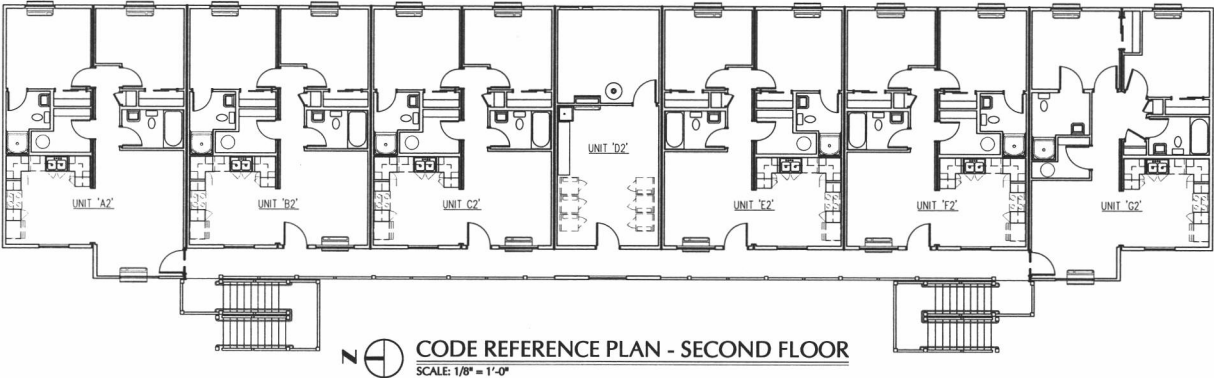
DATE

NOVEMBER 29, 2016

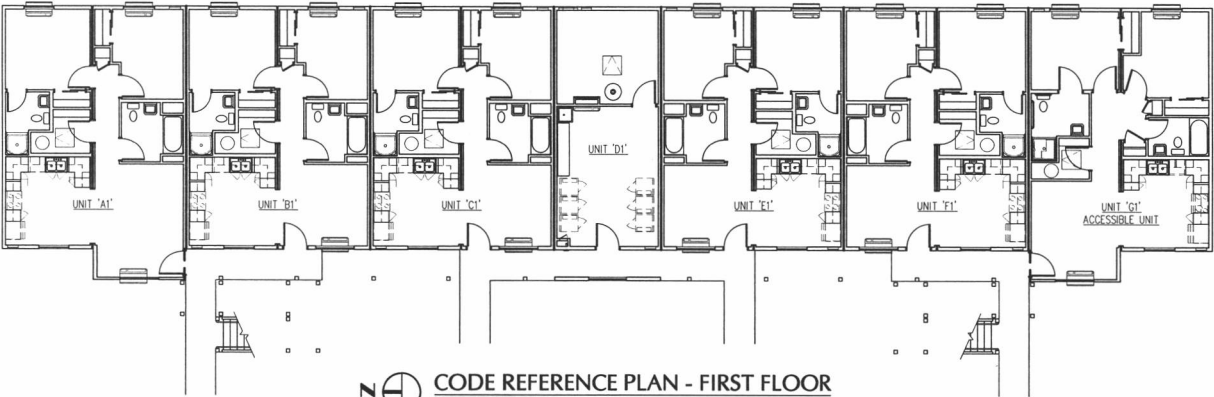
SHEET NUMBER

A2.2





CODE REFERENCE PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"



CODE REFERENCE PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

NOTES:

1. SEE SHEET A0.3 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'A1'.
2. SEE SHEET A0.3 FOR ENLARGED CODE REFERENCE PLAN - UNITS 'B1' & 'C1'.
3. SEE SHEET A0.4 FOR ENLARGED CODE REFERENCE PLAN - UNITS 'E1' & 'F1'.
4. SEE SHEET A0.4 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'D1' (BUILDING "A" SHOWN).
5. SEE SHEET A0.4 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'D2' (BUILDING "A" SHOWN).
6. SEE SHEET A0.5 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'G1'.
7. SEE SHEET A0.5 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'G2'.
8. SEE SHEET A0.6 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'A2'.
9. SEE SHEET A0.6 FOR ENLARGED CODE REFERENCE PLAN - UNITS 'B2' & 'C2'.
10. SEE SHEET A0.7 FOR ENLARGED CODE REFERENCE PLAN - UNITS 'E2' & 'F2'.
11. SEE SHEET A0.7 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'D1' (BUILDINGS "B", "C", & "D" SHOWN).
12. SEE SHEET A0.7 FOR ENLARGED CODE REFERENCE PLAN - UNIT 'D2' (BUILDINGS "B", "C", & "D" SHOWN).
13. SEE SHEET A0.8 FOR WALL TYPE DESIGNATIONS.

FIRESTOPPING SPECIFICATION

1. ONLY TESTED FIRESTOP SYSTEMS SHALL BE USED IN SPECIFIC LOCATIONS AS FOLLOWS OR AS REQUIRED BY CODE:
 - a. PENETRATIONS FOR THE PASSAGE OF DUCT, CABLE, CONDUIT, PIPING, ELECTRICAL RACEWAYS THROUGH FIRE-RATED VERTICAL BARRIERS (WALLS AND PARTITIONS), HORIZONTAL BARRIERS (FLOOR / CEILING ASSEMBLIES), AND PARTITIONS.
2. USE ONLY FIRESTOP PRODUCTS THAT HAVE BEEN UL 1479; ASTM E 814 OR UL 2079. TESTED FOR SPECIFIC FIRE-RATED CONSTRUCTION CONDITIONS CONFORMING TO CONSTRUCTION ASSEMBLY TYPE, PENETRATING ITEM TYPE, ANNUAL SPACE REQUIREMENTS, AND FIRE-RATING INVOLVED FOR EACH SEPARATE INSTANCE. THROUGH PENETRATION FIRESTOP SYSTEM FOR ELECTRICAL PENETRATIONS. PROVIDE FIRESTOPPING COMPLYING WITH UL SYSTEM NO. 5, R1044, TESTED IN ACCORDANCE WITH UL 1709, ASTM E 119, ASTM E 1529, AND ASTM E 1725.
3. MANUFACTURER'S INSTRUCTIONS: COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF THROUGH-PENETRATION AND CONSTRUCTION JOINT MATERIALS.
4. REGULATORY REQUIREMENTS: INSTALL FIRESTOP MATERIALS IN ACCORDANCE WITH UL FIRE RESISTANCE DIRECTORY OR OMEGA POINT LABORATORIES DIRECTORY.
5. SEAL ALL HOLES OR VOIDS MADE BY PENETRATIONS TO ENSURE AN AIR AND WATER RESISTANT SEAL.
6. NOTIFY AUTHORITY HAVING JURISDICTION WHEN FIRESTOPPING INSTALLATION IS READY FOR INSPECTION. OBTAIN ADVANCE APPROVAL OF ANTICIPATED INSPECTION DATES AND PHASING, IF ANY, REQUIRED TO ALLOW SUBSEQUENT CONSTRUCTION TO PROCEED. DO NOT COVER FIRESTOPPING WITH OTHER CONSTRUCTION UNTIL APPROVAL OF AUTHORITY HAVING JURISDICTION HAS BEEN RECEIVED.
7. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S DETAILED INSTALLATION INSTRUCTIONS AND PROCEDURES.
8. FIRE SAFING - SEMI-REFRACTORY FIBER BOARD SAVING INSULATION: SEMI-RIGID BOARDS / BATTS DESIGNED FOR USE AS A FIRESTOP IN GAPS BETWEEN WALLS TO MAINTAIN FIRE RATINGS OF HORIZONTAL ASSEMBLIES. FIRE SAFING SHALL BE MANUFACTURED FROM SLAG MINERAL WOOL WITH THERMOSETTING RESIN BINDERS TO COMPLY WITH ASTM C 612, CLASS 1 AND CLASS 2; NOMINAL DENSITY OF 4.0 POUNDS PER CUBIC FOOT, PASSING ASTM E 136 FOR COMBUSTION CHARACTERISTICS AND AN R-VALUE OF 4.0 AT 75 DEGREES F. CAULKING COMPOUND SHALL BE APPROVED BY FIRE SAFING MANUFACTURER TO SEAL JOINT AT TOP OF CEILING STRUCTURE TO PROVIDE PROTECTION OF SMOKE PENETRATION. ACCEPTABLE MANUFACTURERS SHALL BE THERMAFIBER, INC. OR ROCK WOOL MANUFACTURING.

KEY:

----- 1-HOUR FIRE RATED PARTITION WALL



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