



Rapid City Planning Commission

Final Planned Development Overlay Project Report

December 8, 2016

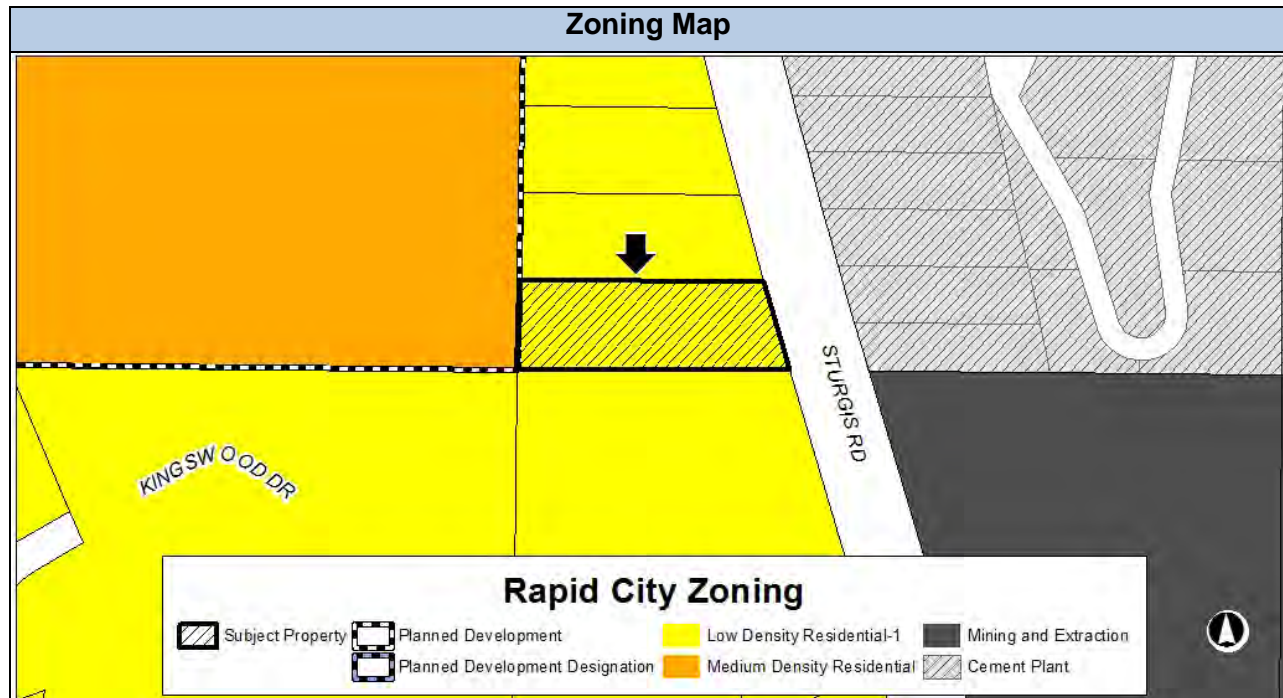
Item #8
Applicant Request(s)
Case # 16PD059 – Final Planned Development Overlay to allow an oversized garage
Companion Case(s) N/A

Development Review Team Recommendation(s)
The Development Review Team recommends that the Final Planned Development Overlay be approved with the stipulation(s) noted below.

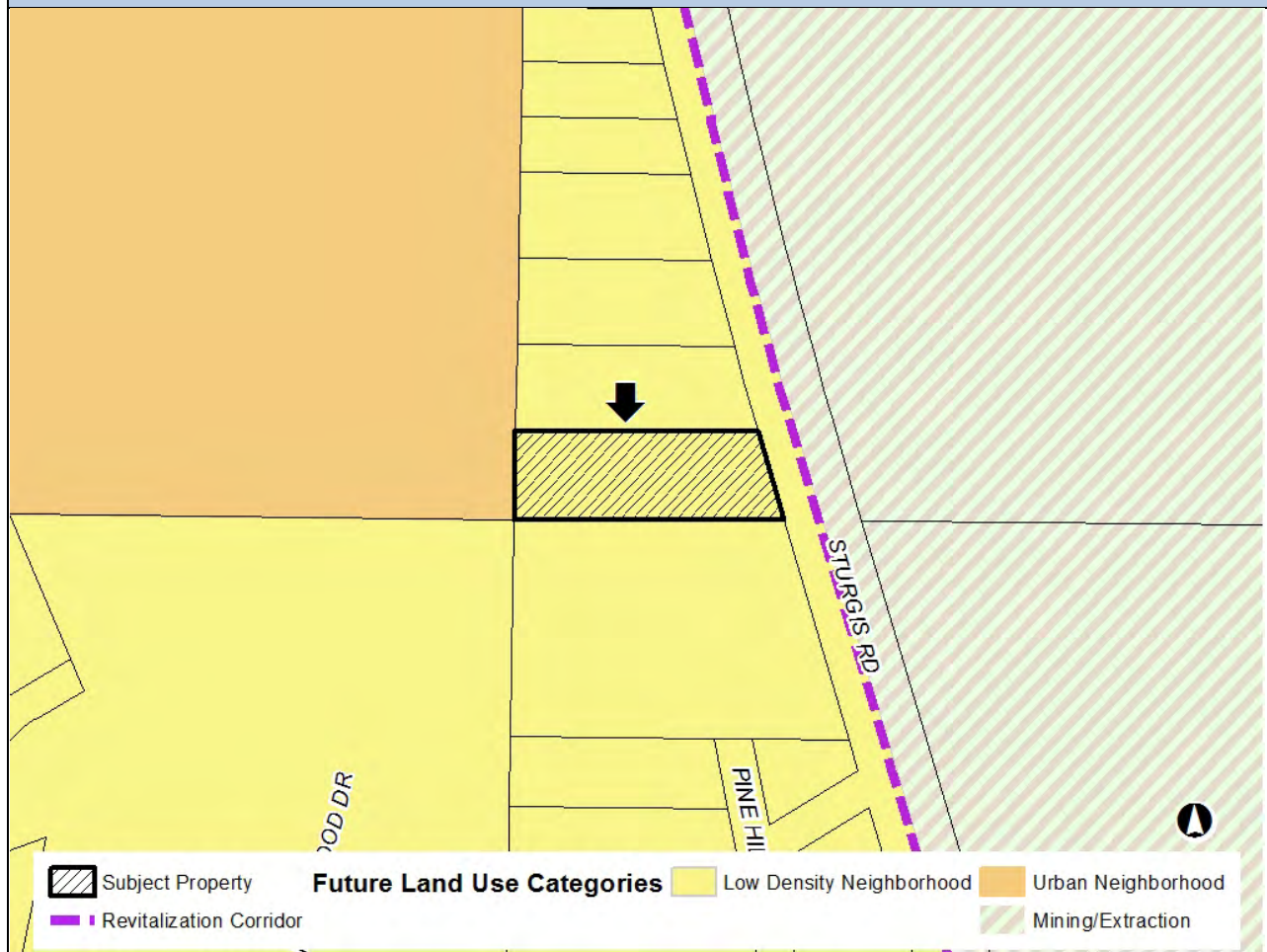
Project Summary Brief	
<p>The applicant has submitted a Final Planned Development Overlay to allow an over-sized garage. In particular, the applicant is proposing to construct a 30 foot by 40 foot detached garage approximately 1,200 square feet in size. There is an existing attached garage measuring 407 square feet in size and a shed measuring 200 square feet in size. The total storage area on the property exceeds the maximum allowed area of 1,500 square feet by 307 square feet. In addition, the applicant is requesting two Exceptions: to reduce the minimum required rear yard setback from a section line highway from 58 feet to 36 feet and an Exception to allow an accessory structure with a height no greater than 18 feet in lieu of 15 feet as allowed. The applicant has stated that the garage is intended for parking and storage.</p>	
Applicant Information	Development Review Team Contacts
Applicant: Pius and Doris Ann Werlinger	Planner: Fletcher Lacock
Property Owner: Pius and Doris Ann Werlinger	Engineer: Nicole Lecy
Architect: N/A	Fire District: Tim Behlings
Engineer: N/A	School District: N/A
Surveyor: N/A	Water/Sewer: Nicole Lecy
Other: N/A	DOT: Stacy Bartlett

Subject Property Information	
Address/Location	4295 Sturgis Road
Neighborhood	West Rapid
Subdivision	Pine Hills Subdivision
Land Area	1.65 acres (71,874 square feet)
Existing Buildings	Approximately 2,016 square feet
Topography	Rises from east to west
Access	Sturgis Road
Water Provider	Private well
Sewer Provider	Septic
Electric/Gas Provider	Black Hills Power / MDU
Floodplain	N/A

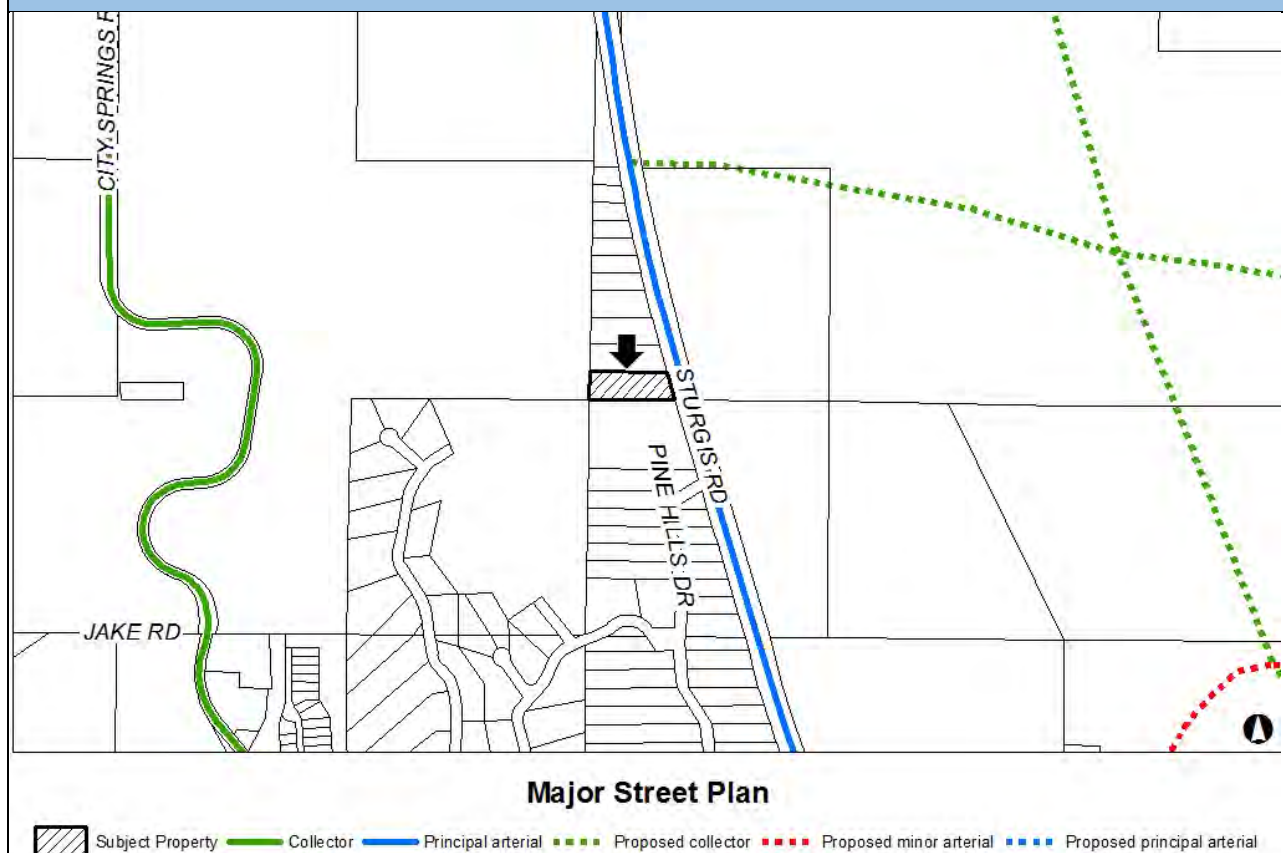
Subject Property and Adjacent Property Designations			
	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	LDR	LDN – Revitalization Corridor	Single-family dwelling
Adjacent North	LDR	LDN – Revitalization Corridor	Single-family dwelling
Adjacent South	LDR	LDN – Revitalization Corridor	Single-family dwelling
Adjacent East	Cement Plant	Mining Extraction – Revitalization Corridor	Cement Plant
Adjacent West	MDR-PD	UN	Good Samaritan's assisted living



Comprehensive Plan Future Land Use



Parks or Transportation Plan



Relevant Case History			
Case/File#	Date	Request	Action
N/A			
Relevant Zoning District Regulations			
Low Density Residential District		Required	Proposed
Lot Area		6,500 square feet	71,874 square feet
Lot Width		Minimum 50 feet at the front building line	Approximately 155 feet
Maximum Building Heights		2.5 stories, 35 feet / 15 feet for accessory structures	Requesting an Exception to allow an accessory structure with a height up to 18 feet
Maximum Density		30%	4.4%
Minimum Building Setback:			
• Front		20 feet	Approximately 290 feet
• Rear		25 feet to primary structure / 5 feet to accessory structures	Requesting an Exception to reduce the minimum required rear yard setback that abuts a section line highway from 58 feet to 36 feet
• Side		8 feet	14 feet
• Street Side		N/A	N/A
Minimum Landscape Requirements:			
• # of landscape points		N/A	N/A
• # of landscape islands		N/A	N/A
Minimum Parking Requirements:			
• # of parking spaces		2	4
• # of ADA spaces		N/A	N/A
Signage		Pursuant to RCMC	No signage proposed
Fencing		Pursuant to RCMC	No fencing proposed

Planning Commission Criteria and Findings for Approval or Denial	
Pursuant to Section 17.50.050(F)5 of the Rapid City Municipal Code the Planning Commission shall consider the following criteria for an Final Planned Development Overlay:	
Criteria	Findings
1. There are certain conditions pertaining to the particular piece of property in question because of its size, shape, or topography:	The property is approximately 1.65 acres in size. The applicant is proposing to construct a 1,200 square foot detached garage. There is an existing attached garage and a shed measuring a total of 607 square feet in size. The maximum allowed storage space is 1,500 square feet. The total storage space will measure 1,807 square feet in size. The proposed garage will exceed the maximum allowed by 307 square feet.
2. The application of these regulations to this particular piece of property would create a practical difficulty or undue hardship:	The property is zoned Low Density Residential District. A single-family dwelling and a detached garage are permitted uses in the district. An over-sized garage is identified as a conditional use. The maximum allowed size of private garages in the Low Density Residential District is 1,500 square feet of storage space. The applicant is proposing a total of 1,807 square feet.
3. Exceptions to the underlying zoning district, if granted, would not cause undue hardship to the public good or impair the purposes and intent of these regulations:	The applicant is proposing to construct a 1,200 square foot detached garage to be used for parking and storage. The applicant is requesting two Exceptions: to reduce the minimum required rear yard setback from a section line highway from 58 feet to 36 feet and to allow an accessory structure with a height up to 18 feet in lieu of 15 feet. The property is accessed from Sturgis Road which is identified

	<p>as a Principal Arterial Street on the City's Major Street Plan. The west property line runs adjacent to a section line highway requiring a minimum 58 foot setback which includes 33 feet of section line highway and a 25 foot setback from the section line highway. There is an existing shed located on the property with a 36 foot rear yard setback from the section line highway. The proposed detached garage will have a 44.5 foot rear yard setback. It does not appear that a street will be constructed along the west property line; however, there is an overhead power line located along the west property line. Property to the west is developed with Good Samaritans assisted living. There is a vegetated hillside located west of the property which provides a buffer from the garage. The typical minimum required rear yard setback is 25 feet. For these reasons, staff recommends that the Exception to reduce the minimum required rear yard setback from a section line highway be granted.</p> <p>The applicant has also submitted two sample elevations for the proposed detached garage. The proposed height will either be 16 feet 4 inches or 18 feet depending on the design. The proposed heights exceed the maximum allowed height of 15 feet by 20%. The applicant has indicated that the proposed garage will match the existing dwelling in materials and color and will be used for parking and storage. In addition, the proposed garage will be located to the west of the existing dwelling which supports the Comprehensive Plan's goal of de-emphasizing the visual prominence of garages. Being within a maximum 20% increase in height and the proposed location to the rear of the dwelling support the granting of the Exception.</p>
4. A literal interpretation of this chapter would deprive the applicant of rights that others in the same district are allowed:	The literal interpretation of the Zoning Ordinance would not deprive the applicant of rights that others in the same district are allowed.
5. Any adverse impacts will be reasonably mitigated:	The property is approximately 1.65 acres in size and rises in elevation from the east to the west. The location of the proposed garage is sufficiently buffered from adjacent properties to the north, south, and west with existing vegetation and elevation. The applicant should be aware that prior to issuance of a Building Permit, a surveyed site plan must be submitted showing the location of the existing well to ensure that the proposed garage does not encroach. In addition, the Rapid City Fire Department has indicated that though the vegetation on the property is light, the location is within a wildland fire hazard area. As such, prior to submittal of a Building Permit, the applicant must coordinate with the Rapid City Fire Department to arrange a site review.
6. The requested exception to the underlying zoning district standards is an alternative or innovative practice that reasonably achieves the objective of the existing standard sought to be modified:	The property is approximately 1.65 acres in size and an over-sized garage is identified as a conditional use in the Low Density Residential District. The property abuts Sturgis Road which is identified as a Principal Arterial Street on the City's Major Street Plan. The west property line abuts a section line highway requiring a minimum setback of 58 feet to ensure sufficient right-of-way for a






	future street. It does not appear that a road will be constructed west of the property which abuts Good Samaritan's assisted living facility. The proposed detached garage is intended for parking and storage and will be designed in materials and color to match the existing dwelling. For the above reasons, staff supports the Exceptions to reduce the minimum required setback from a section line and to allow an accessory structure with a height up to 18 feet.
--	---

Staff has also reviewed the proposed use with respect to Chapter 17.54.030(E) of the Rapid City Municipal Code and has noted the following issues:

The applicant is requesting to allow an oversized garage on the subject property which is identified as a conditional use in the Low Density Residential District. In particular, the applicant is proposing to construct a detached garage measuring 30 feet by 40 feet in size. The maximum allowed square footage for private accessory buildings and storage is 1,500 square feet. With the existing attached garage, shed, and the proposed detached garage, the total area of private storage space will be 1,807 square feet in size. The applicant has stated that the proposed structure will be used for parking and storage. The proposed structure will not be used for commercial purposes. The topography of the property and the existing vegetation will serve as a buffer from adjacent properties. The applicant has indicated that the proposed garage will match the existing dwelling in materials and color. For the above reasons, staff recommends that the requested over-sized garage be approved.

Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial

In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following values, principles, goals, and policies within the Rapid City Comprehensive Plan:

Comprehensive Plan Conformance – Core Values Chapters	
	A Balanced Pattern of Growth
	N/A
	A Vibrant, Livable Community
LC-3.1C	Compatible Infill and Redevelopment: The proposed over-sized garage is located on a 1.65 acre property zoned Low Density Residential District. The proposed setbacks, elevations, and existing trees will provide a buffer from adjacent properties.
	A Safe, Healthy, Inclusive, and Skilled Community
SHIS-2.1B	Wildfire Awareness and Preparedness: The Rapid City Fire Department has indicated that the property is located within a wildland fire hazard area. The Fire Department recommends that the applicant coordinate with the Rapid City Fire Department to arrange a site review.
	Efficient Transportation and Infrastructure Systems
TI-2.1A	Major Street Plan Integration: The property is accessed from Sturgis Road which is identified as a Principal Arterial Street on the City's Major Street Plan. The property shares an approach with the property to the north.
	Economic Stability and Growth
	N/A

	Outstanding Recreational and Cultural Opportunities
	N/A
	Responsive, Accessible, and Effective Governance
GOV-2.1A	Public Input Opportunities: The proposed Final Planned Development Overlay requires that public notice be advertized in the newspaper and that mailings are sent to property owners within 250 feet of the proposed development. The requested Final Planned Development Overlay is before the Planning Commission for review and approval. The public has an opportunity to provide input at this meeting.

Comprehensive Plan Conformance – Growth and Reinvestment Chapter	
Future Land Use Plan Designation(s):	Low Density Neighborhood
Design Standards:	
SDP-N4	Garage Placement: The applicant is proposing to construct the detached garage to the rear of the existing dwelling which supports the goal of de-emphasizing the visual prominence of garages.

Comprehensive Plan Conformance – Neighborhood Area Policies Chapter	
Neighborhood:	West Rapid
Neighborhood Goal/Policy:	
N/A	The property is located in the West Rapid neighborhood area. It does not appear that the proposed Final Planned Development Overlay is in conflict with the goals and policies of the district.

Findings	
Staff has reviewed the Final Planned Development Overlay to allow an oversized garage pursuant to Chapter 17.50.050(F)5, Chapter 17.10, and Chapter 17.54.030 of the Rapid City Municipal Code and the goals, policies, and objectives of the adopted Comprehensive Plan. It appears that the requested Final Planned Development Overlay will have a minimal impact on adjacent properties and will serve to ensure that the existing and proposed development on the property maintains the characteristics of the neighborhood and the goals and policies of the Comprehensive Plan.	

Planning Commission Recommendation and Stipulations of Approval	
Staff recommends that the Final Planned Development Overlay to allow an oversized garage be approved with the following stipulations:	
1.	An Exception is hereby granted to allow an oversized garage of 1,807 square feet in lieu of the maximum 1,500 square feet;
2.	An Exception is hereby granted to reduce the minimum required setback from a section line highway from 58 feet to 36 feet;
	An Exception is hereby granted to allow an accessory structure with a height not to exceed 18 feet in lieu of the maximum allowed height of 15 feet;
3.	Prior to submittal of a Building Permit, the applicant shall coordinate with the Rapid City Fire Department to arrange a site review for wildland fuels mitigation;
4.	Upon submittal of a Building Permit, a surveyed site plan of the existing and proposed structures shall be submitted identifying the location of the well and septic system; and,
5.	The Final Planned Development Overlay shall allow an oversized garage. The proposed structure shall not be used for commercial purposes or as a second residence. In addition, the garage shall not be used as a rental unit. Any change in use that is a permitted use in the Low Density Residential District shall require a building permit. Any change in use that is a Conditional Use in the Low Density Residential

	District shall require the review and approval of a Major Amendment to the Planned Development.
--	---



Rapid City Community Planning & Development Services

Development Review Advisories

*Disclosure: The Development Review Team has created this list of Advisories as a courtesy for your specific application. **This is not a complete list.** All City, District, State, and Federal requirements must be continually met.*

Applicant Request(s)	
Case # 16PD059	Final Planned Development Overlay to allow an over-sized garage
Companion Case(s) #	N/A
ADVISORIES: Please read carefully!	
1.	A Building Permit shall be obtained prior to any construction. A certificate of completion shall be obtained prior to initiation of the use;
2.	All requirements of the Infrastructure Design Criteria Manual and the Rapid City Standard Specifications shall be met;
3.	All requirements of the currently adopted Building Code shall be met; and,
4.	All requirements of the International Fire Code shall be met.